

# SITE PLAN

APPROVED DRACUT ZONING BOARD OF APPEALS

---

**SIGNATURE** **DATE**

*For Registry Use Only*

certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the commonwealth of Massachusetts."

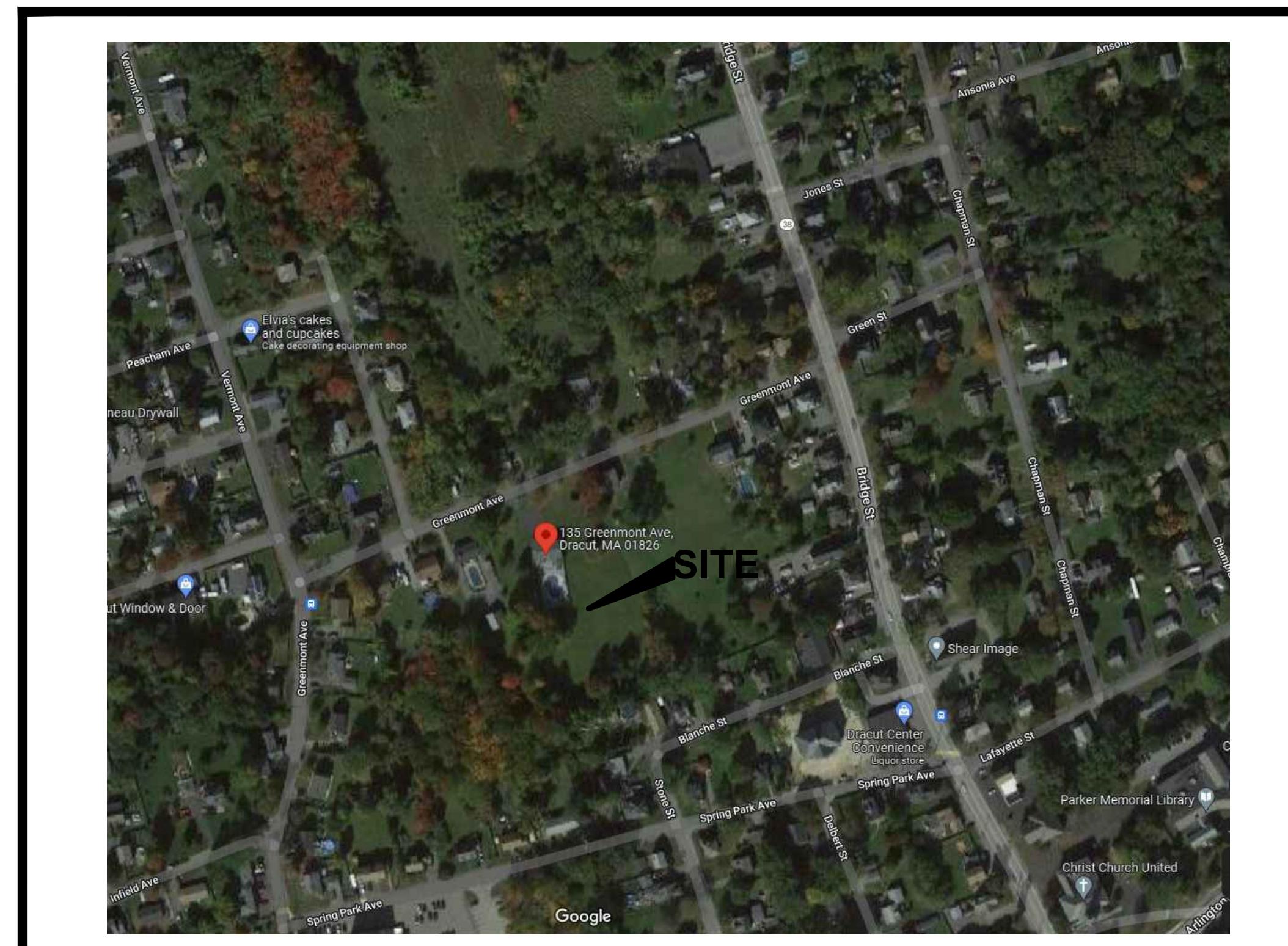
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Signature \_\_\_\_\_ Date \_\_\_\_\_

THE INFLUENCE OF CULTURE ON PARENTING

I, \_\_\_\_\_, being the Town Clerk of the Town of Dracut,  
hereby certify that notice of this plan has been received and recorded at this office \_\_\_\_\_  
and no appeal of such has been received during the twenty days next preceding the date of this certificate.

\_\_\_\_\_, and no appeal of such has been received during the twenty



## TABLE OF CONTENTS

SHEET	TITLE
C-101	Existing Conditions
C-102	Layout & Utilities
C-103	Grading & Drainage
C-104	Erosion Control
C-105	Landscape & Lighting
C-106	Details & Sections
C-107	Details & Sections
C-108	Details & Sections
C-109	Details & Sections
C-110	Emergency Access

# Greenmont Commons

## 135 Greenmont Avenue

### Dracut, MA

APPROVED DRACUT ZONING BOARD OF APPEALS

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Notice of Appeals

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Town Clerk \_\_\_\_\_ Date \_\_\_\_\_



REFERENCES

1. DEEDS: A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS: A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1966; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS: A. Comprehensive Permit Application Submittal for Branco Pergo; by Cornerstone Land Consultants, Inc.; dated April 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property is owned by Jose Luiz "Branco" Pergo; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps; Map #25017C0141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.

10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.

DATE: 10/5/23 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML  
10/5/23 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML  
04/10/24 REVISER: ZONING BOARD OF APPEALS MEETING BY: KML  
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Design by KML  
Survey by KML/JTA  
Draft by KML  
Check by JAV/TAJ

Certification not valid without original stamp and/or signature

Cornerstone Land Associates, LLC

Civil & Structural Engineering  
Land Surveying, Land Development  
23 Dean Avenue, Dracut, MA 01826 (978) 983-0102

EXISTING CONDITIONS PLAN  
Comprehensive Permit Application  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS

SCALE: As Shown  
DATE: May 18, 2023  
PREPARED FOR:  
Riverbank Properties  
908 Lawrence Street  
Lowell, MA 01852

JOB NO.: 2021-235  
SHEET: 1 of 10  
DRAWING NO.  
C-101



### DRAINAGE CHART

PCB#1  
RIM=162.25  
INVout=159.00

PCB#2  
RIM=162.50  
INVout=159.00

SWQU#1  
RIM=162.85  
INVin=158.90 (12" ADS PCB#1)  
INVin=158.90 (12" ADS PCB#2)  
INVout=158.80 (12" ADS UDB)

PCB#3  
RIM=162.00  
INVout=158.50

PCB#4  
RIM=162.00  
INVout=158.50

SWQU#2  
RIM=163.00  
INVin=158.15 (12" ADS PCB#1)  
INVin=158.15 (12" ADS PCB#2)  
INVout=158.05 (12" ADS UDB)

ADS PIPE RETENTION SYSTEM  
INVin=158.00 (12" SWQU#1)  
INVin=157.75 (12" SWQU#2)  
INVout=157.75 (12" OCS#1)  
INVout=157.00 (4" OCS#1)

OCS#1  
RIM=163.20  
INVin=157.00 (12" ADS PIPE)  
INVin=156.90 (4" ADS PIPE)  
INVout=156.75 (12" PDMH#5)

### SUBSURFACE TESTING DEEP OBSERVATION HOLE LOGS

HOLE NO:		TP-1	TP-2	TP-3	TP-4	TP-5	TP-6	TP-7
HORIZON	TEXTURE							
COLOR								
A, SL		161.93		160.01		160.94		160.89
10YR3/2	FILL			159.51		160.25		159.48
B, SL		160.41		158.51		160.25		159.48
10YR5/6				157.34		159.08		159.48
C, VF SAND	2.5Y5/4	158.00	C2, VF SAND	2.5Y5/4	C1, VF SAND	2.5Y5/4	C1, VF SAND	2.5Y5/4
		155.00		153.67		157.77		155.56
DATE:	09/16/22	K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22	K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22	K. Lania/J. Visniewski - CLA M. Hamel - Dracut	09/15/22	K. Lania/J. Visniewski - CLA M. Hamel - Dracut
S.E.: INSP:								
02/27/24	K. Lania - CLA K. Clark - GCG	02/27/24	K. Lania - CLA K. Clark - GCG	02/27/24	K. Lania - CLA K. Clark - GCG	02/27/24	K. Lania - CLA K. Clark - GCG	02/27/24

DEEP HOLE LEGEND

- ESTIMATED SEASONAL HIGH GROUNDWATER
- OBSERVED HIGH GROUNDWATER (None)
- UNSUABLE SOILS/MATERIALS
- ACCEPTABLE SOILS
- REFUSAL (None)

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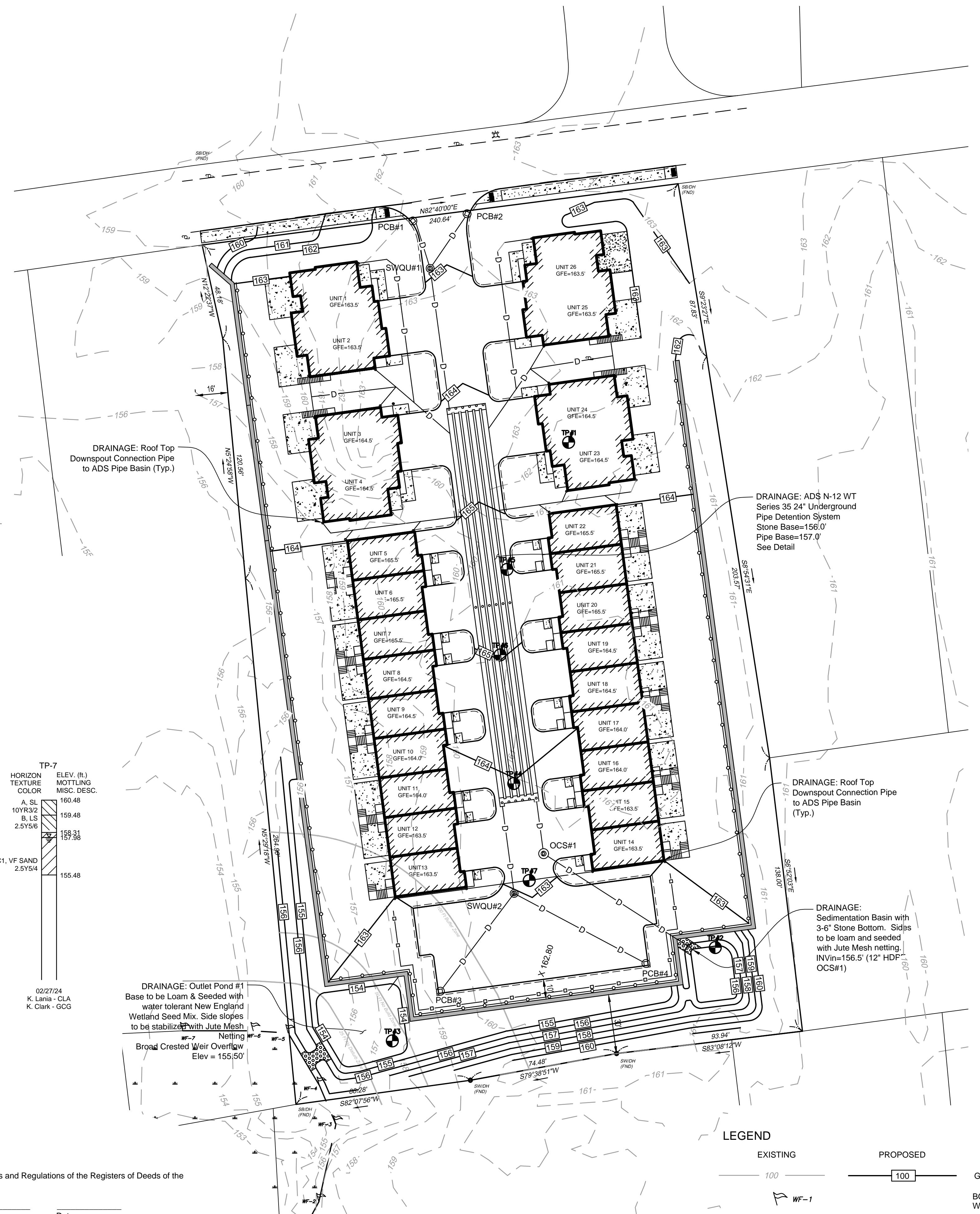
Signature \_\_\_\_\_

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### Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)

0 30

### REFERENCES

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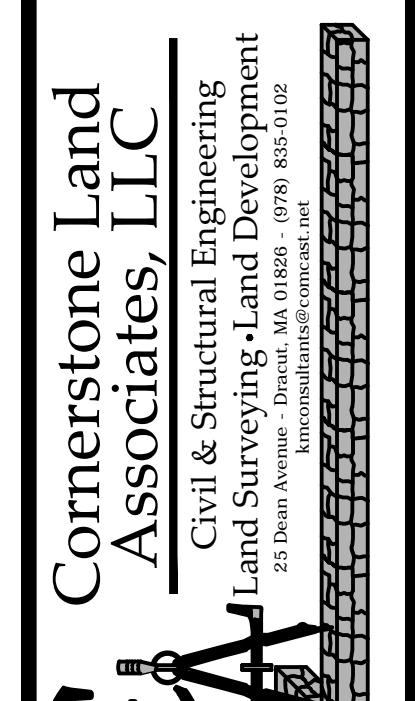
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Certification not valid without original stamp and/or signature



Cornerstone Land  
Associates, LLC  
Civil & Structural Engineering  
Land Surveying, Land Development  
23 Dean Avenue, Dracut, MA 01826 (978) 353-0102

GRADING & DRAINAGE PLAN  
Comprehensive Permit Application  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS

SCALE: As Shown  
DATE: May 18, 2023  
PREPARED FOR:  
Riverbank Properties  
908 Lawrence Street  
Lowell, MA 01852

JOB NO.: 2021-235  
SHEET: 3 of 10

DRAWING NO.  
C-103

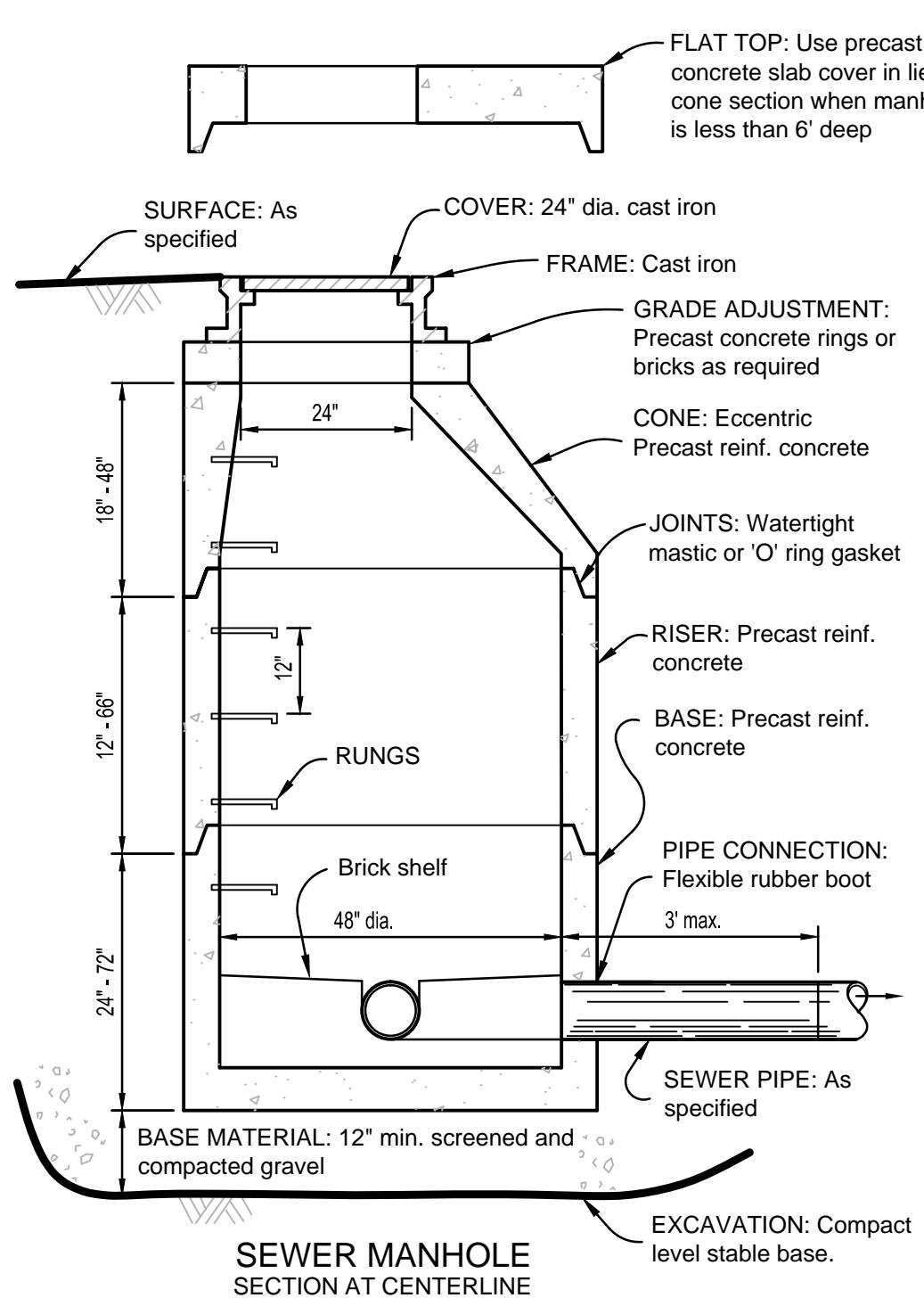
### Locus Map

Not To Scale

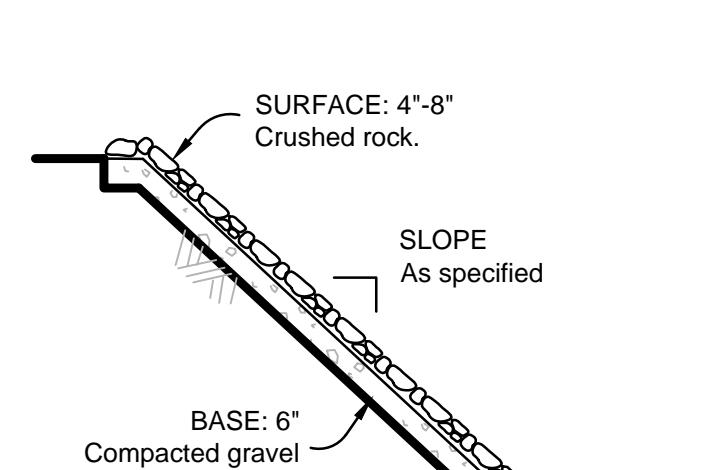
### APPROVED DRACUT ZONING BOARD OF APPEALS







NOTES  
 1. All components and construction shall provide H-20 design loading per AASHTO HS-20-44 & ASTM C478.  
 2. All components and construction shall comply with requirements of the Pepperell Sewer Dept.



SLOPE PROTECTION

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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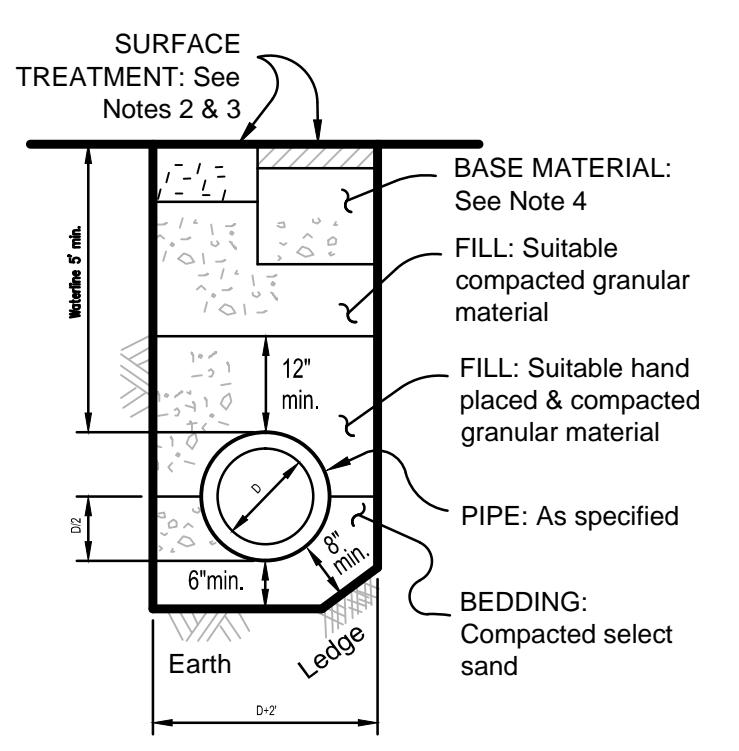
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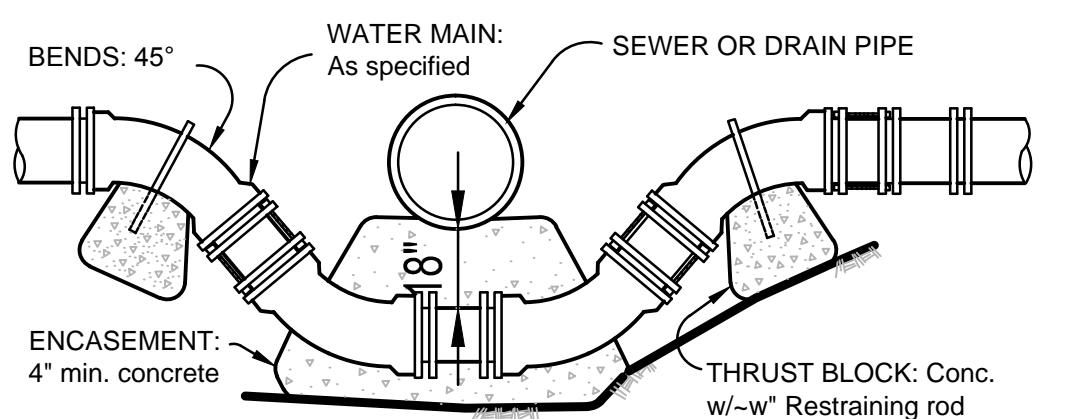
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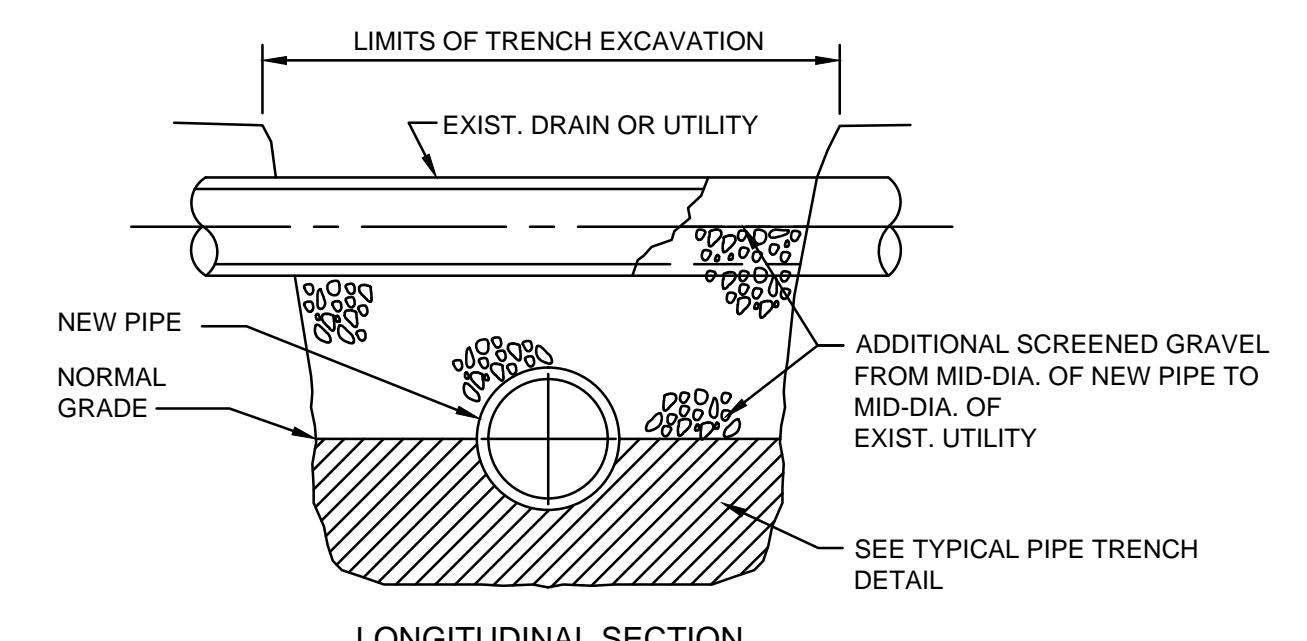


WATER PIPE TRENCH

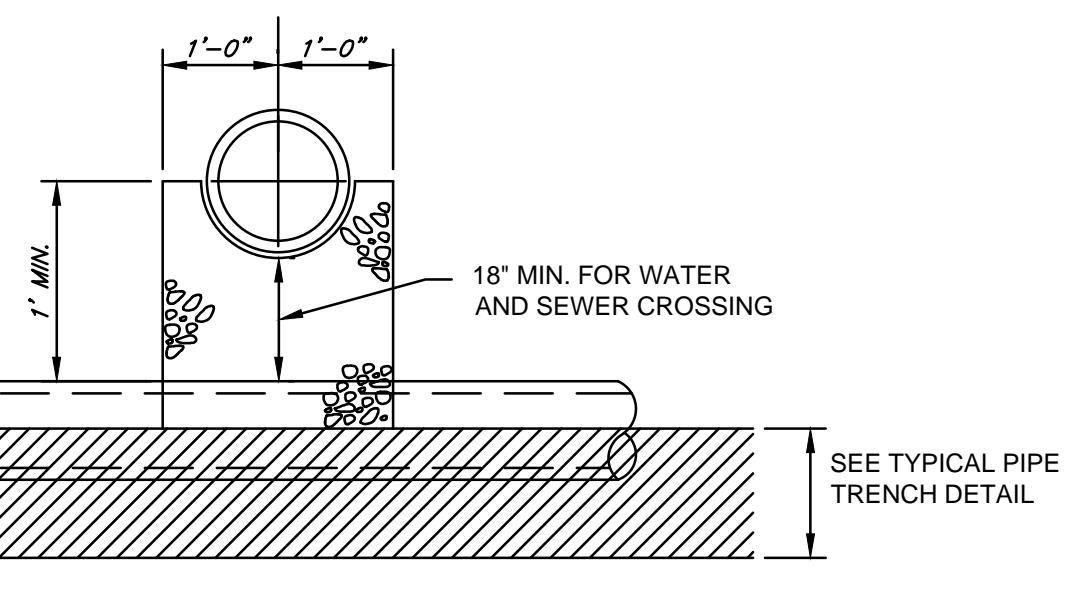
WATER PIPE TRENCH NOTES  
 1. Materials and construction shall comply with the Pepperell Water Dept. specifications.  
 2. Surface landscaping shall be 4" loam & sand.  
 3. Surface finish shall be 1/2" maximum concrete finish course over 1/2" bituminous concrete binder course.  
 4. Driveway base material shall be clean compacted gravel with no aggregate size over 3".



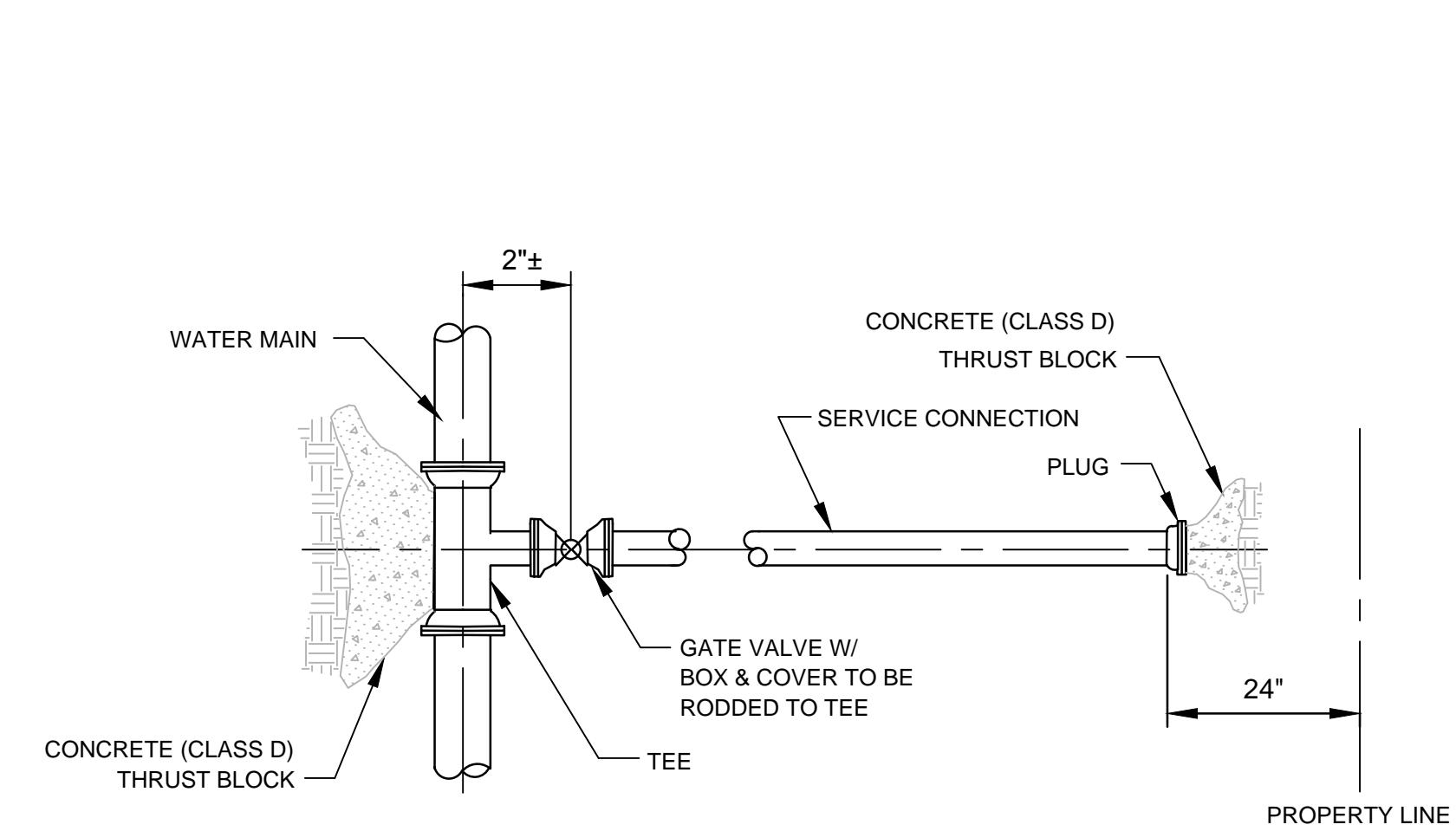
WATERMAIN LOWERING



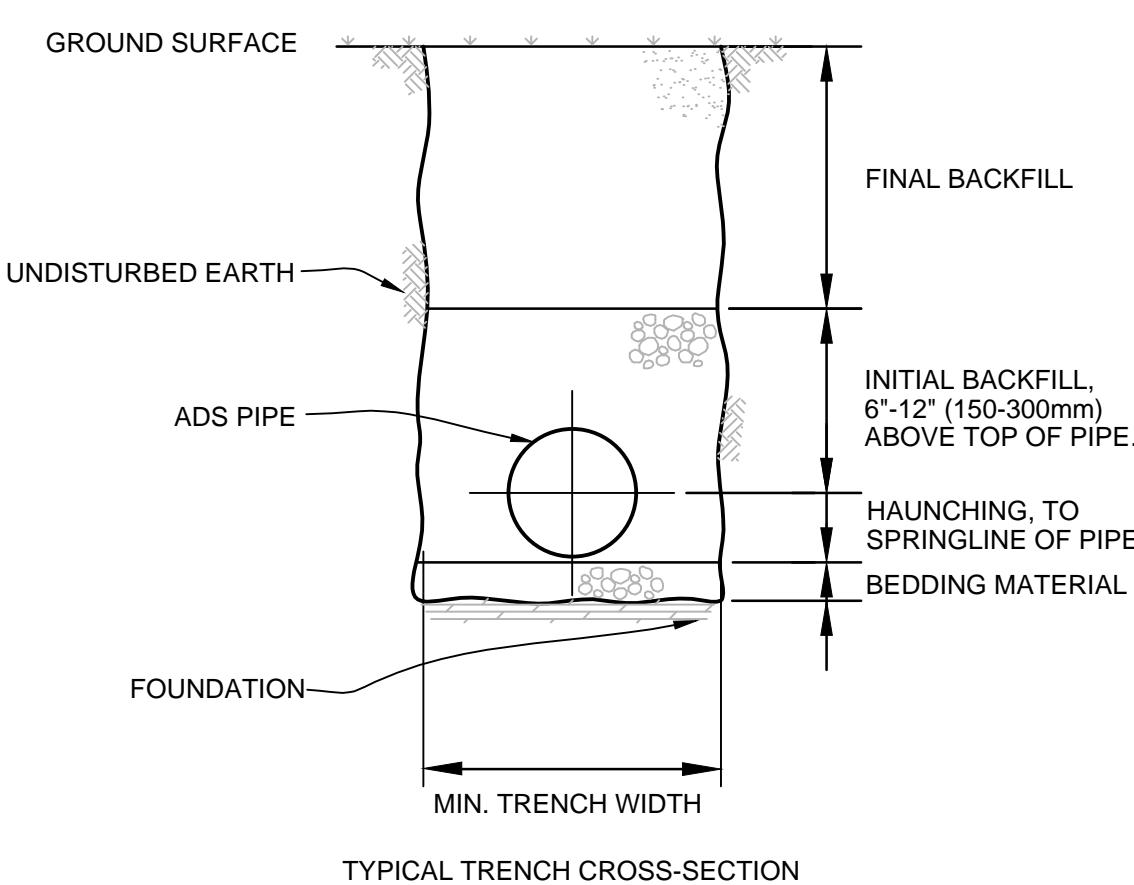
SLOPE PROTECTION



TYPICAL PIPE CROSSING



SERVICE CONNECTION 4" AND OVER



NOTES:

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE AND STABILIZE THE TRENCH BOTTOM BY TROWELING AND REPLACE WITH A LAYDOWN OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321. STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS, LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1050-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.

3. HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

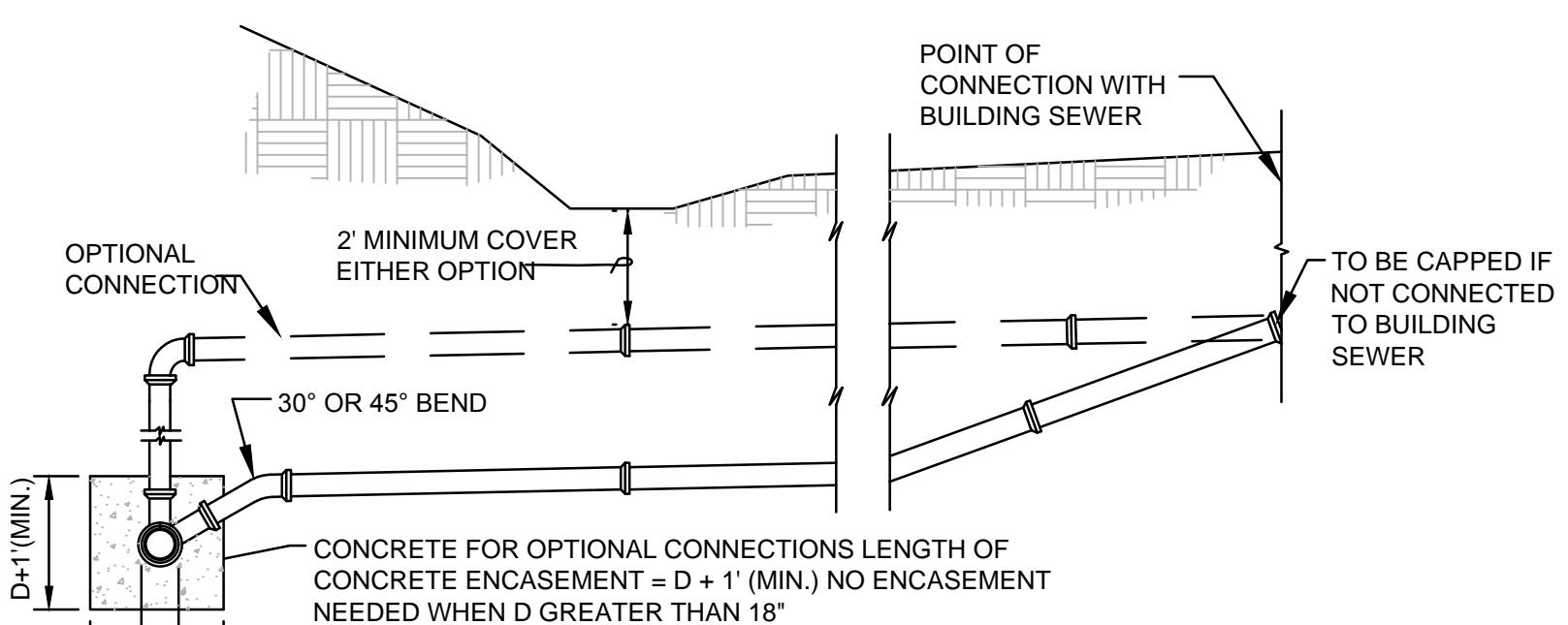
4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
4 (100)	21 (530)
6 (150)	23 (580)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)
24 (600)	48 (1220)
30 (750)	65 (1680)
36 (900)	78 (1990)
42 (1060)	82 (2110)
48 (1200)	89 (2260)
60 (1500)	102 (2590)

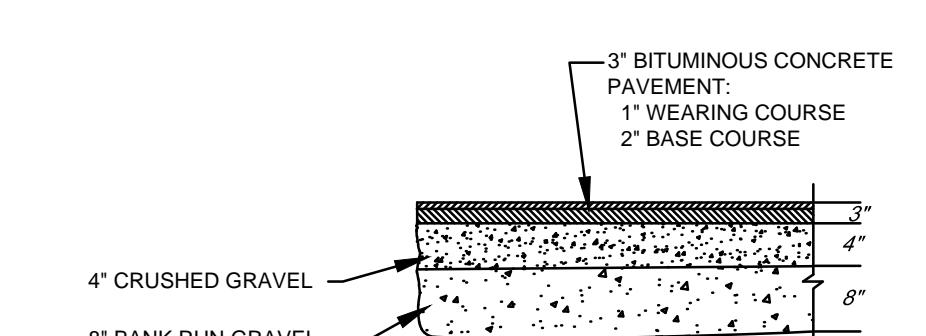
5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300)
H25 (RIGID PAVEMENT)	12 (300)
E80 RAILWAY	24 (610)
HEAVY CONSTRUCTION	48 (1220)

\*TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION



STANDARD SANITARY/INDUSTRIAL WASTE SEWER BUILDING CONNECTIONS



DRIVEWAY PAVEMENT

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO EXCAVATING, MASSACHUSETTS DIG-SAFE SHOULD BE CONTACTED AT 1-800-322-4844.

**DETAILS PLAN**  
**Comprehensive Permit Application**  
 135 GREENMONT AVENUE  
 DRACUT, MASSACHUSETTS  
 JOB NO.: 2021-235  
 SHEET: 6 of 10  
 DRAWING NO.  
 C-106

REVISION 1-29/23 REVS PER ZONING BOARD OF APPEALS MEETING 04/10/24 REVS PER ZONING BOARD OF APPEALS MEETING	Design by KML KML
Survey by KML/TAJ KML/TAJ	Check by JAV/JAU JAV/JAU
Certification not valid without original stamp and/or signature	

Details

Not To Scale

**APPROVED DRACUT ZONING BOARD OF APPEALS**

**WETLAND PERMANENT SIGN**

**CONCRETE SIDEWALK**

**GUARDRAIL**

**BITUMINOUS CAPE COD BERM**

**GRANITE CURB**

RADIUS	MAX. LENGTH
21'	3'
22'-28'	4'
29'-35'	5'
36'-42'	6'
43'-49'	7'
50'-56'	8'
57'-60'	9'
OVER 60'	10'

**VERTICAL GRANITE CURB**

**TYPICAL SIGNS**

**SEE SITE PLAN FOR LOCATION OF THESE SIGNS.**

**APPROVED DRACUT ZONING BOARD OF APPEALS**

**SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_  
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**NOTES:**

1. Processed gravel reference: Mass. Highway Specs. M1.03.1.
2. Gravel borrow reference: Mass. Highway Specs. M1.03.0 (type b).
3. Bituminous Concrete reference: Mass. Highway Specs. Section 460, Class I, Type I-1, and M3.11.00.
4. Tack coat reference: Mass. Highway Specs. Section 460.62.
5. All compaction to meet 95% maximum dry density.
6. Curbing to be Vertical Granite or Continuous Bituminous as shown on Site Plan.

**TYPICAL PARKING & SIDEWALK**

**DETAILS PLAN**

**Comprehensive Permit Application**  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS

**Details**

**NOT TO SCALE**

**CONCRETE SIDEWALK - SEE PLANS FOR WIDTH**

**WIRE MESH REINFORCEMENT**  
WWF 6x6 W 2.0 x 2.0

**CURB (SEE DETAIL)**

**PAVEMENT**

**6" GRAVEL SUBBASE**

**BASE MATERIAL (SEE CURB DETAIL)**

**FINISH GRADE**

**4'-0" (MIN)**  
**6'-0" (MAX)**

**3'-0" BELOW GRADE**

**FINISH GRADE**

**4" X 6" (NOM) POST**  
**6'-0" LONG**

**5/8" BIN BOLTS - 12" LONG**  
**WSTD. WASHERS AND HEX NUTS**

**NOTE:**  
POSTS AND RALES SHALL BE PRESSURE TREATED

**PROFILE**

**EXISTING GROUND**

**50' (MIN.)**

**EXISTING PAVEMENT**

**50' (MIN.)**

**20' (MIN.)**

**10' (MIN.)**

**20' (MIN.)**

**10' (MIN.)**

**PLAN**

**1. STONE SIZE - Use 2" stone, or reclaimed or recycled concrete equivalent.**

**2. LENGTH - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).**

**3. THICKNESS - Not less than six (6) inches.**

**4. WIDTH: Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.**

**5. FILTER CLOTH: Will be placed over the entire area prior to placing of stone. Filter cloth will not be required on a single family residence lot.**

**6. SURFACE WATER: All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.**

**7. MAINTENANCE: The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair, and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.**

**8. WASHING: Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.**

**9. INSPECTION: Periodic inspection and needed maintenance shall be provided after each rain.**

**STABILIZED CONSTRUCTION ENTRANCE**

**PLAN**

**FACE OF CURB**

**4"**

**10' O.C. (TYP.)**

**4" PAINTED STRIPES (TYP.)**

**STAKES: 2"x2"x3", 8'oc.**

**SILT FENCE: Attach to stakes**

**BACKFILL: Compacted soil from excavation**

**EXCAVATION: Embed silt fence 4" into existing soil**

**SILT FENCE SECTION**

**NOTE:** Silt fence may be used alone or as a backing for staked haybales as specified by the Conservation Commission

**SECTION B-B**

**PLAN: On slope**

**STAKED HAYBALES**

**STAKES: (2) 2"x2"x3" per bale**

**BACKFILL: Compacted soil from excavation**

**EXCAVATION: Embed haybales 4" into existing soil**

**FLOW**

**B**

**B**

**TRAFFIC FLOW**

**STOP BAR STRIPE**

**TRAFFIC FLOW**

**NOTE:** ALL STRIPING SHALL BE 12" REFLECTORIZED THERMOPLASTIC WHITE LINE (M.H.D. 866.12). SEE SITE PLAN FOR LOCATIONS.

**STOP BAR STRIPE**

**NOT TO SCALE**

**REVIEWS PER ZONING BOARD OF APPEALS MEETING**  
11/29/23 AND ZBA PEER REVIEW COMMENTS

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04/10/24 AND ZBA PEER REVIEW COMMENTS

**Design by**  
KML

**Survey by**  
KML/TA

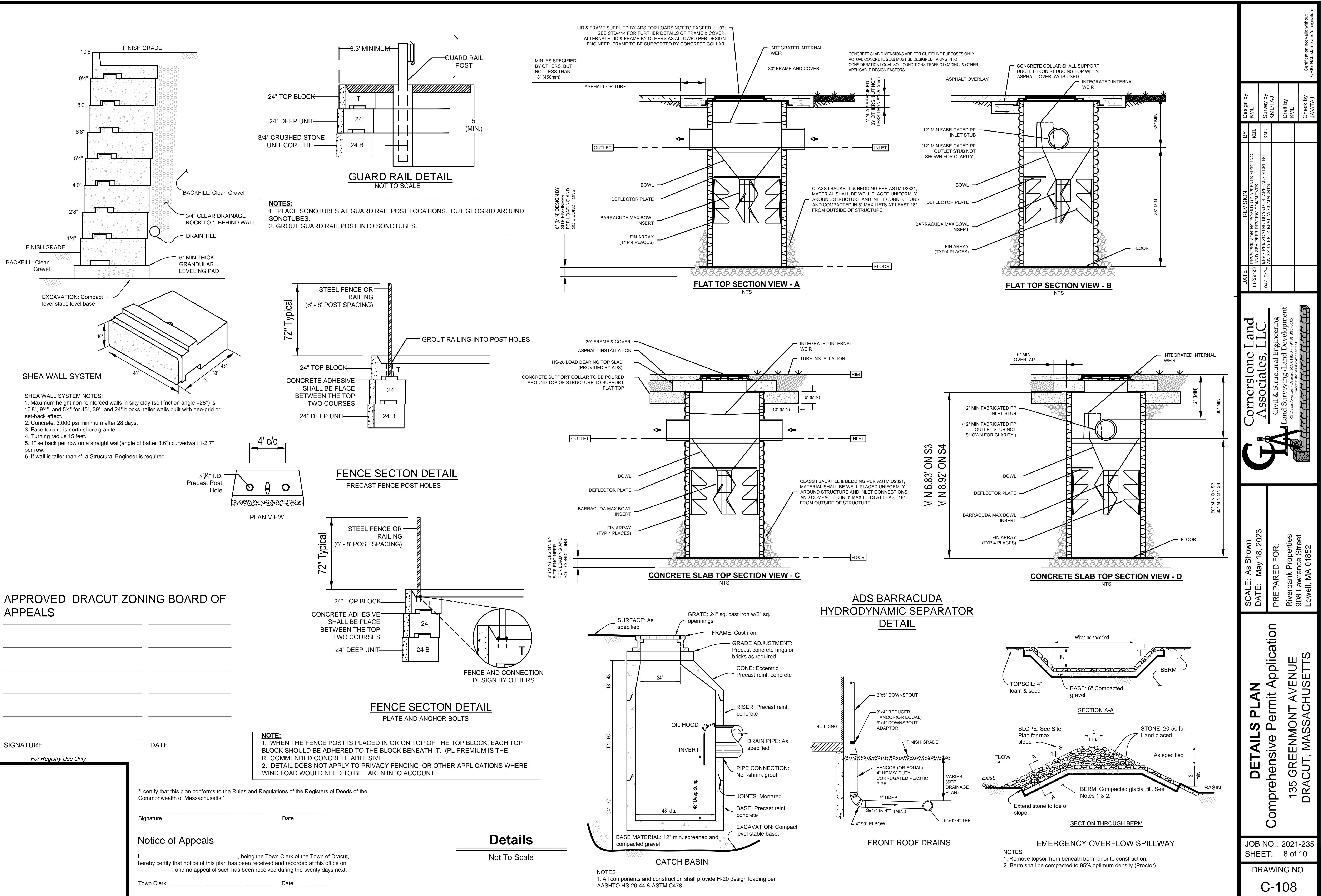
**Draft by**  
KML

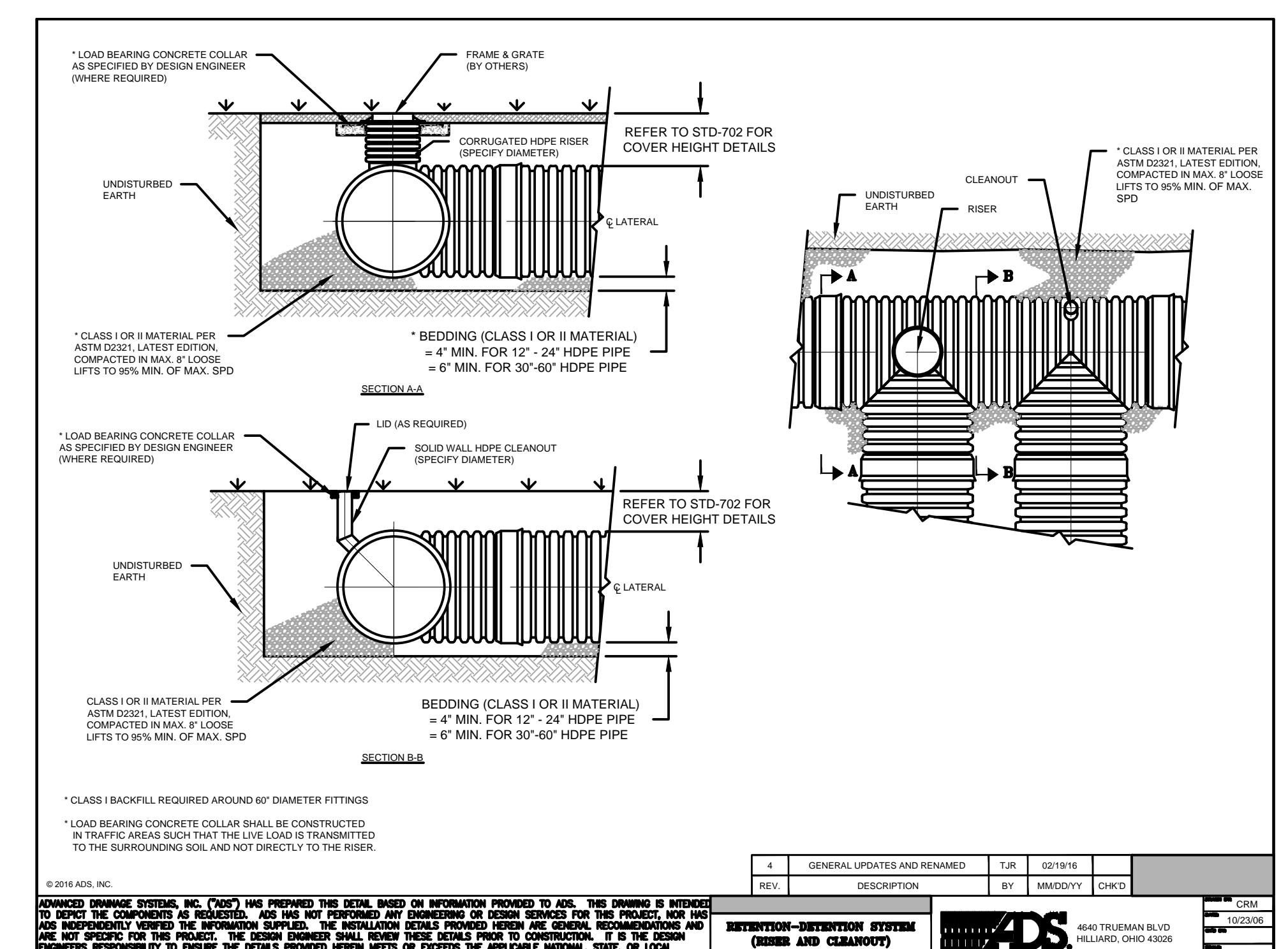
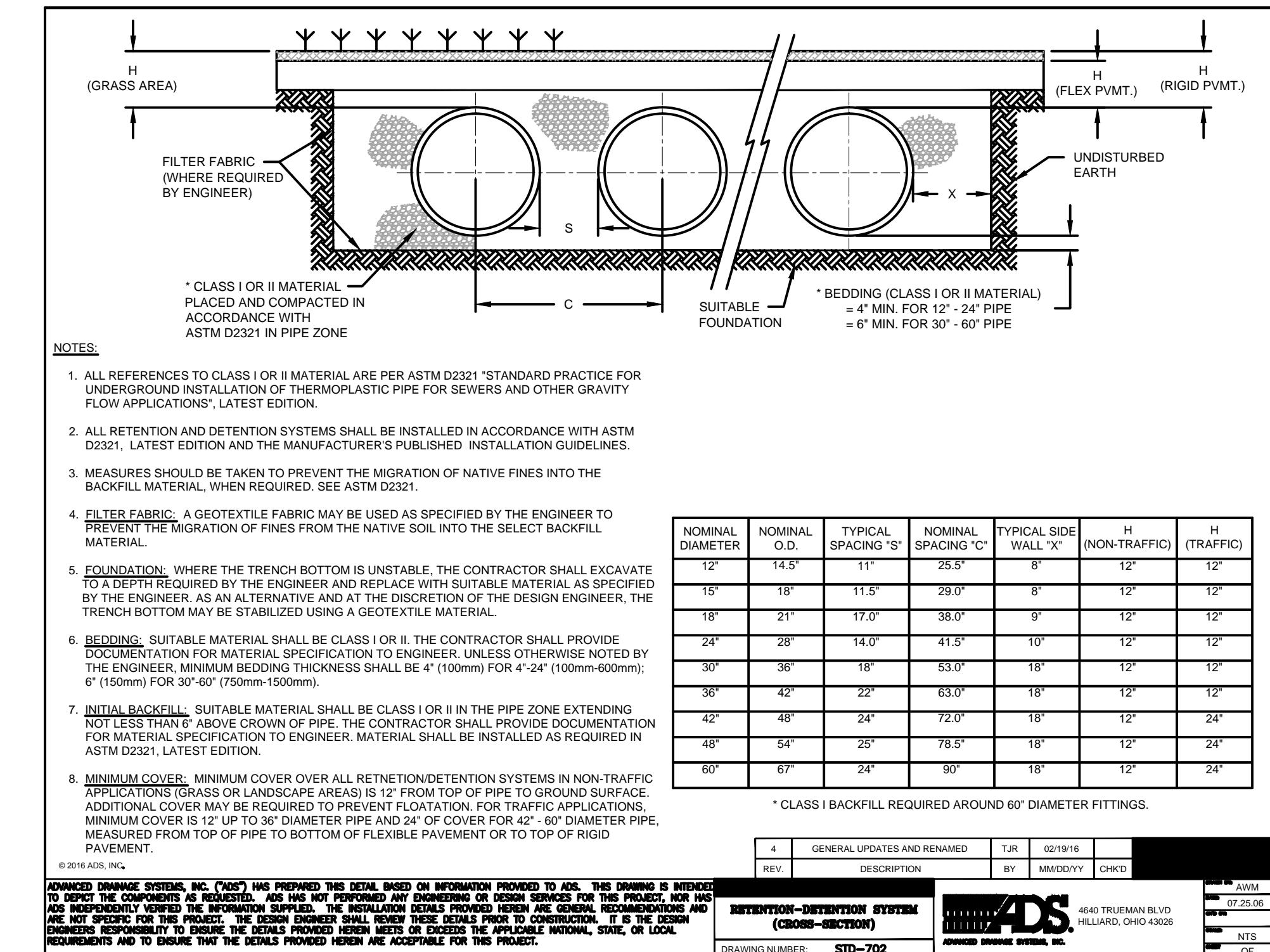
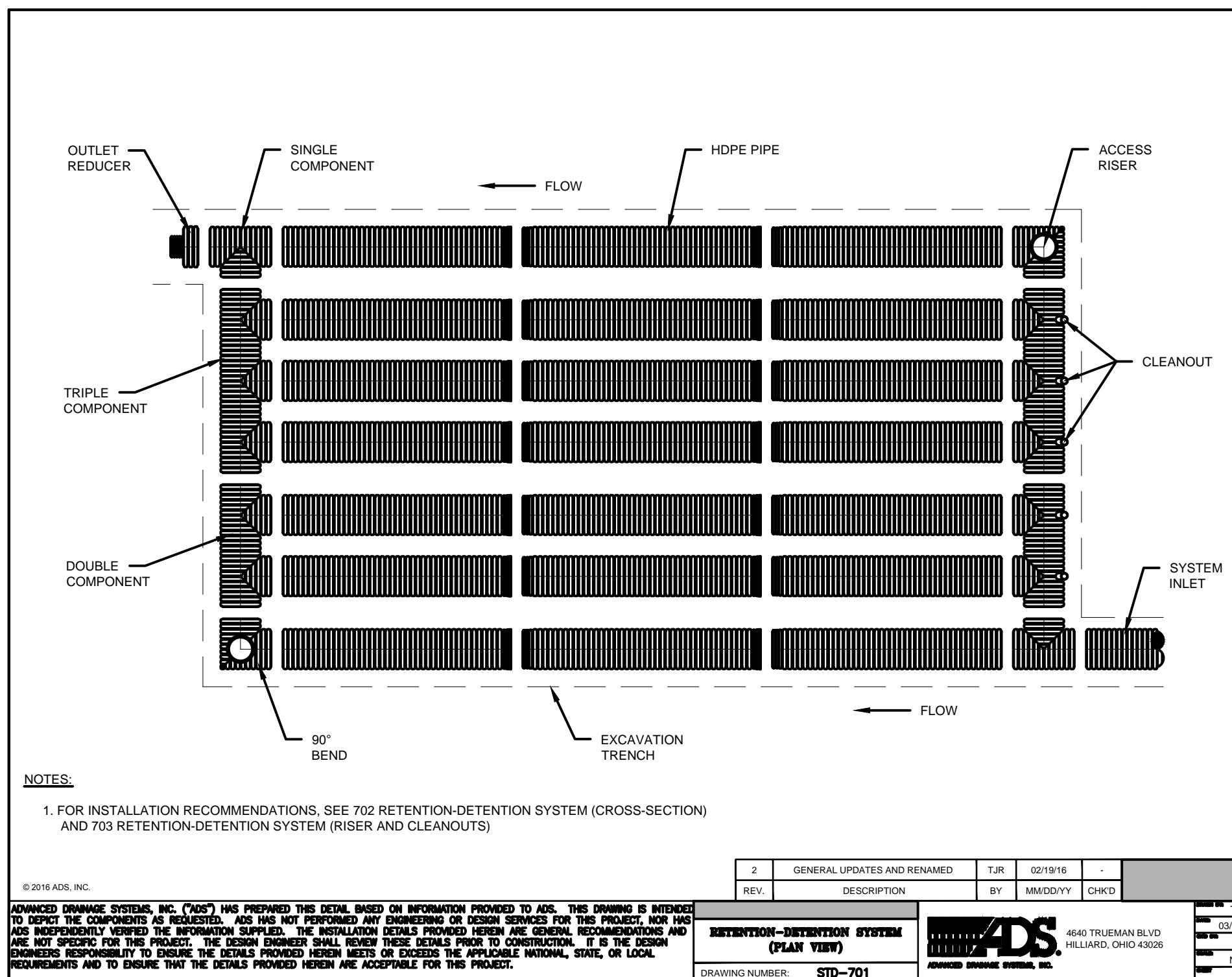
**Check by**  
JAV/TAJ

**Certification not valid without original stamp and/or signature**

**Cornerstone Land Associates, LLC**  
Civil & Structural Engineering  
Land Surveying-Land Development  
25 Main Avenue, Lowell, MA 01854  
(978) 452-0102

**JOB NO.: 2021-235**  
**SHEET: 7 of 10**  
**DRAWING NO.**  
**C-107**





For Registry Use Only

I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature \_\_\_\_\_ Date \_\_\_\_\_

Notice of Appeals

I, \_\_\_\_\_, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on \_\_\_\_\_, and no appeal of such has been received during the twenty days next.

Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

### Details

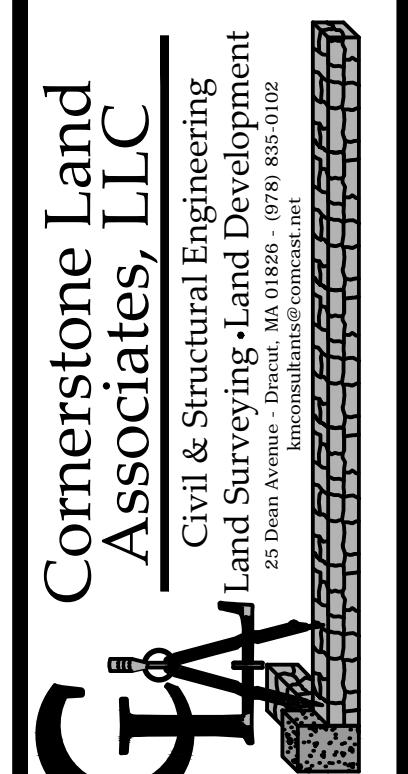
Not To Scale

APPROVED DRACUT ZONING BOARD OF APPEALS

**DETAILS PLAN**  
Comprehensive Permit Application  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235  
SHEET: 9 of 10  
DRAWING NO.  
C-109

REVISION	1/29/23	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PIER REVIEW COMMENTS	BY KML
DATE	04/10/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PIER REVIEW COMMENTS	BY KML
Design by	KML	Survey by	KML/TAJ
Draft by	KML	Check by	JAV/TAJ
Certification not valid without original stamp and/or signature			



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature \_\_\_\_\_ Date \_\_\_\_\_

Notice of Appeals

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Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)  
0 30

