

SITE PLAN
IN THE
TOWN OF DRACUT
MIDDLESEX COUNTY
COMMONWEALTH OF MASSACHUSETTS

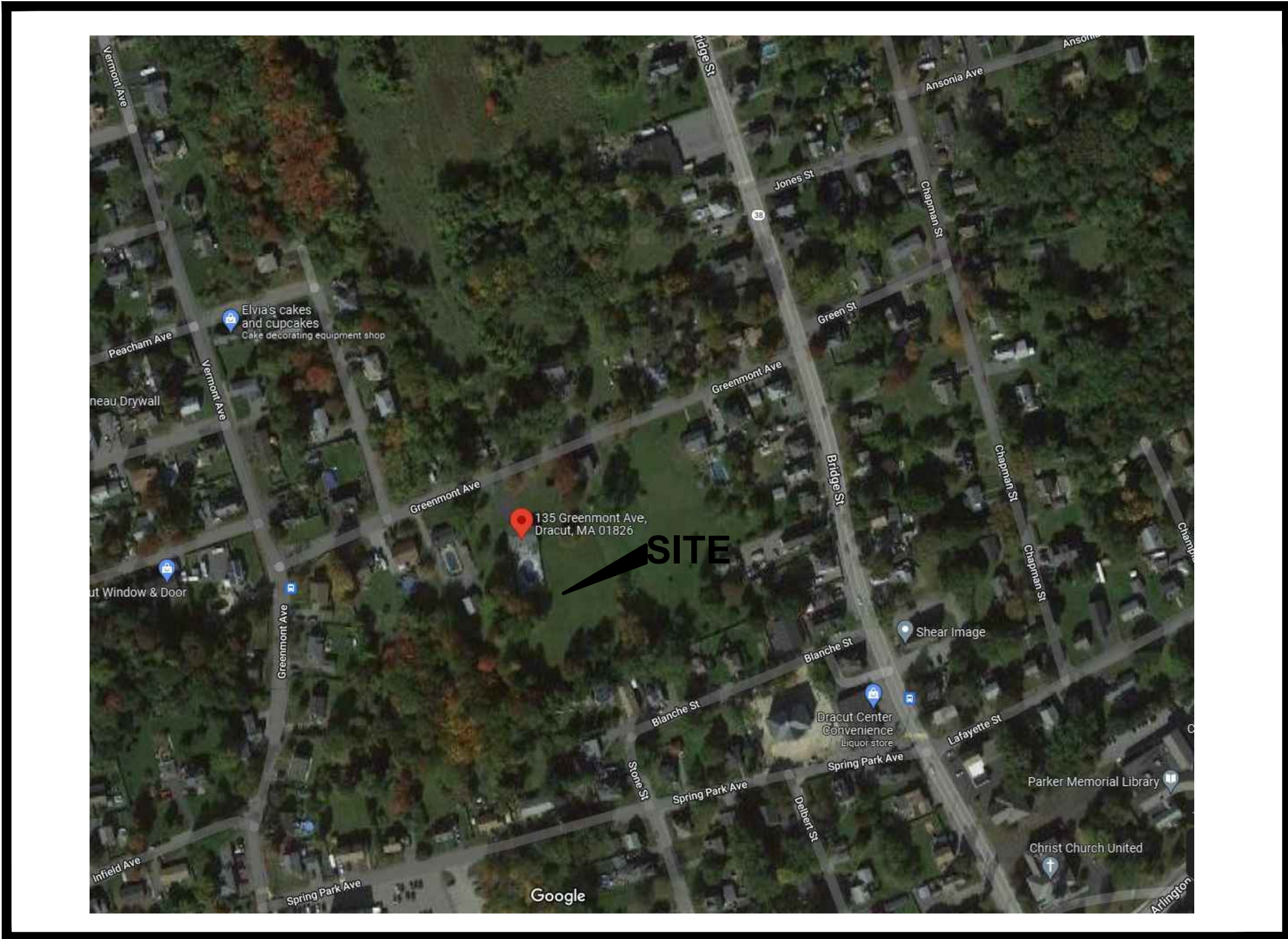


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APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE DATE

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature Date

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk Date

Greenmont Commons
135 Greenmont Avenue
Dracut, MA

This plan shall not be reproduced in whole or in part without the written consent of Cornerstone Land Associates, LLC. © 2023

12/10/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
11/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
08/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
DATE	REVISION	BY

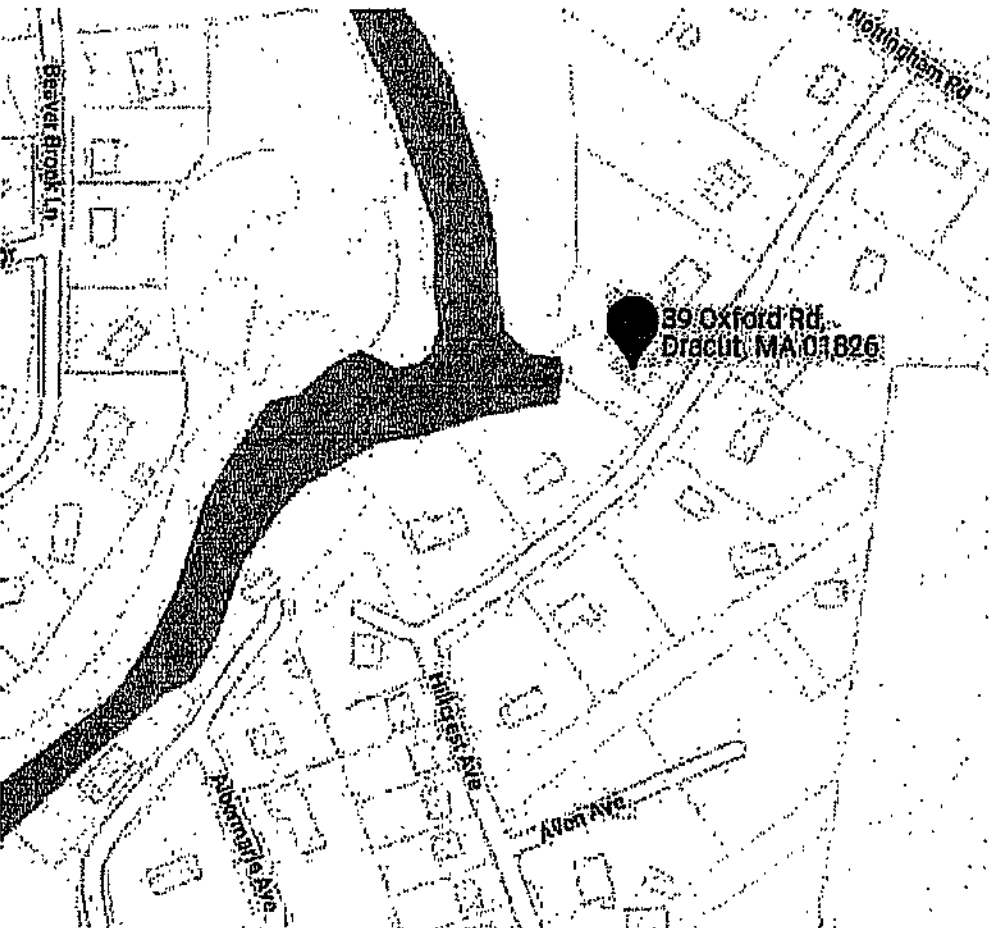


May 18, 2023 Dwg. No. 2021-235



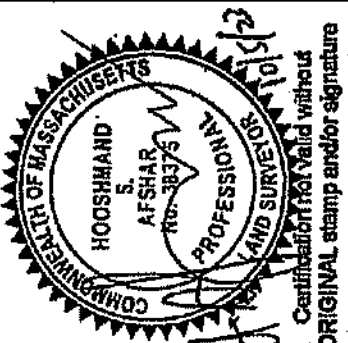
REFERENCES

- DEEDS:
A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.
 - PLANS:
A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1968; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.
 - DOCUMENTS:
A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.
- NOTES**
- PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.
 - PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.
 - OWNER & APPLICANT: The subject property shown is owned by Jose Luis "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.
 - ZONING: All lots are within the R-1 (Residential) Zoning District.
 - TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).
 - FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017C0141E dated June 4, 2010.
 - ACEC: The property is not located within an Area of Critical Environmental Concern.
 - NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.
 - RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.
 - LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.
 - SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 28, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.
 - UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.
 - ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.
 - CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.



LEGEND

- | EXISTING | PROPOSED | |
|------------|------------|---------------------------------------|
| 100 | 100 | GRADE CONTOUR |
| WF-1 | | BORDERING VEGETATIVE WETLAND FLAGGING |
| o | | STONE WALL DRILL HOLE |
| g | | CONCRETE BOUND MARKER |
| TEXT, Text | TEXT, Text | GENERAL TEXT |
| | | 50 FT NO BUILD ZONE |
| | | 100 FT BVW BUFFER ZONE |



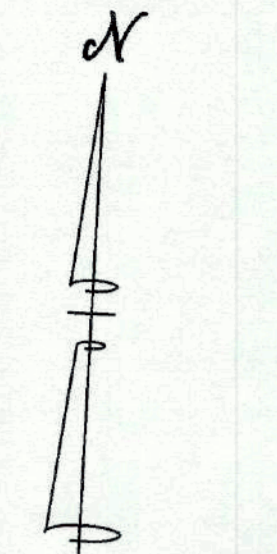
DESIGN BY	KUL
BY	KUL
REVISION	REVISED PER ZONING BOARD OF APPEALS MEETING AND 28A PER REVIEW COMMENTS
DATE	10/5/23

CORNERSTONE
Land Associates, LLC
Civil Engineering - Land Planning
25 Dean Avenue - Dracut, MA 01826 - (978) 635-0102
kncconsultants@comcast.net

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

EXISTING CONDITIONS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 1 of 8
DRAWING NO.
C-101



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE

DATE

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

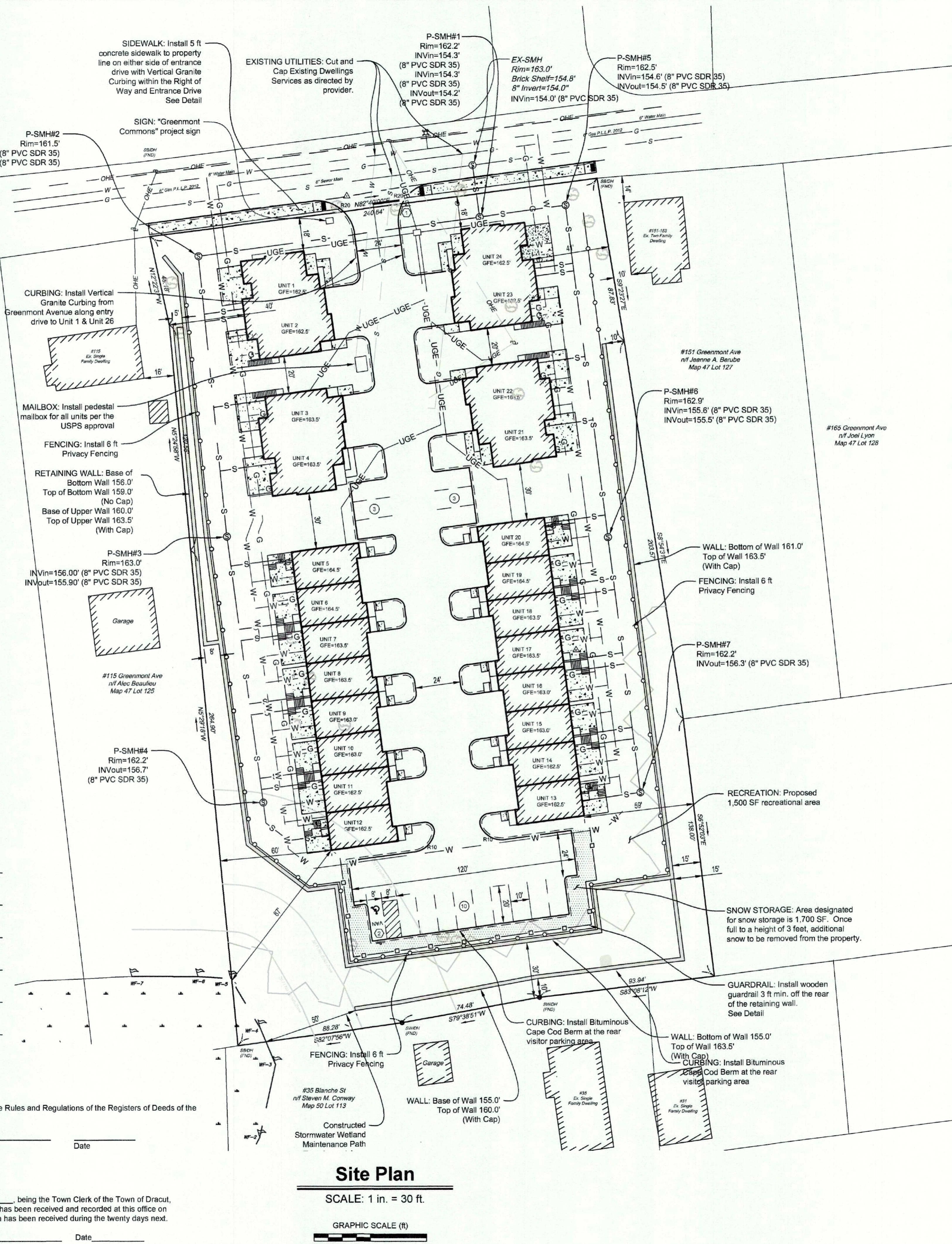
Signature

Date

Notice of Appeals

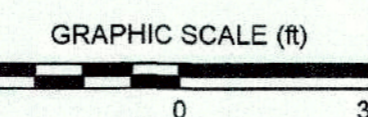
I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____



Site Plan

SCALE: 1 in. = 30 ft.



REFERENCES

- DEEDS:
 - Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.
- PLANS:
 - "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1966; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.
- DOCUMENTS:
 - Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.

NOTES

- PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval for 24 apartment units. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.
- PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.
- OWNER & APPLICANT: The subject property shown is owned by Jose Luiz "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.
- ZONING: All lots are within the R-1 (Residential) Zoning District.
- TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).
- FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017C0141E dated June 4, 2010.
- ACEC: The property is not located within an Area of Critical Environmental Concern.
- NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.
- RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.
- LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.
- SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.
- UTILITIES: The location of all existing subsurface sewage disposal systems and other utilities shown are approximate and must be confirmed by the respective utility authorities prior to any construction. The utility authorities shall also be consulted for their respective specifications prior to installation of all proposed utilities shown. All existing utilities to the existing dwelling to be demolished and cut and capped as required.

Proposed Sewer Flow from 24 Unit Multi Family Townhouse Development = 7,920 GPD.

At a minimum, the builder shall utilize the following minimum utility sizing for each unit:

- Sewer Service Main Line -> Connection -> 8" SDR 35 PVC w/Min. Slope of 0.005 ft/ft
Individual Unit Connections -> 4" SDR 35 PVC w/Min. under concrete slab at a Slope of 1/4" per foot and Min. Cover of 5 ft.
- Water Service Main Line -> 6" Class 52 Ductile Iron w/Tyton Joints
Individual Unit Connections -> 3/4" Type "K" Copper Tubing or Polyethylene Endopore PE-Class 200 piping w/Brass Curb Stop and 5/8" Meter
Fire Service Connections -> 2" Type "K" Copper Tubing or Polyethylene Endopore PE-Class 200 piping w/Brass Hose Connection. Location to be verified with Dracut Fire Department prior to installation.
- Gas Connection -> 1" MDPE Gas Pipe
- Electric Connection -> 200 Amp Service within each unit

- ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.
- TRASH: The Trash Collection for the project will be collected from a Private Trash Service coordinated through the Property Maintenance company and be picked up outside each unit.
- MAIL DELIVERY: The Project Team will work with the United States Postal Service Town of Dracut Post Master to determine the location of the Project Mailbox and delivery access.
- CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.

LEGEND

EXISTING	PROPOSED	
		GRADE CONTOUR
		BORDERING VEGETATIVE WETLAND FLAGGING
		STONE WALL DRILL HOLE
		CONCRETE BOUND MARKER
		GENERAL TEXT
		50 FT NO BUILD ZONE
		100 FT BVW BUFFER ZONE



DESIGN BY	BY	REVISION	DATE
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	03/01/24
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	04/01/24
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	06/05/24
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	08/20/24
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	10/10/24
KML	KML	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	12/10/24

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying & Land Development
25 Dean Avenue - Dracut, MA 01826 - (978) 832-0102
cornerstonelandassociates.com

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

LAYOUT & UTILITIES PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 2 of 10

DRAWING NO.
C-102

SUBSURFACE TESTING

DEEP OBSERVATION HOLE LOGS

DEPTH (ft.)	TP-4			TP-5			TP-6			TP-7		
	HORIZON TEXTURE COLOR	ELEV. (ft.) MOTTLING MISC. DESC.		HORIZON TEXTURE COLOR	ELEV. (ft.) MOTTLING MISC. DESC.		HORIZON TEXTURE COLOR	ELEV. (ft.) MOTTLING MISC. DESC.		HORIZON TEXTURE COLOR	ELEV. (ft.) MOTTLING MISC. DESC.	
0	A, SL	160.94		A, SL	160.57		A, SL	160.89		A, SL	160.48	
12	10YR3/2	160.25		10YR3/2	159.48		10YR3/2	159.97		10YR3/2	159.48	
24	B, LS			B, LS			B, LS			B, LS		
26	2.5Y5/6	159.08		2.5Y5/6	158.40		2.5Y5/6	158.72		2.5Y5/6	158.31	
34					158.07			158.39			157.98	
42		157.77										
50	C1, VF SAND			C1, VF SAND			C1, VF SAND			C1, VF SAND		
52	2.5Y5/4			2.5Y5/4	155.56		2.5Y5/4	155.88		2.5Y5/4	155.48	
60												
72												
84		154.17										
96												
108												
120												
132												
144												

DATE: 03/15/22

S.E.: K. Lantini, Vianewski - CLA

INSR: K. Lantini - GGG

DATE: 02/27/24

S.E.: K. Lantini - CLA

INSR: K. Clark - GGG

DATE: 02/27/24

S.E.: K. Lantini - CLA

INSR: K. Clark - GGG

DATE: 02/27/24

S.E.: K. Lantini - CLA

INSR: K. Clark - GGG

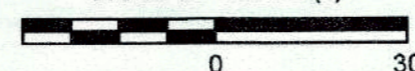
For Registry Use Only

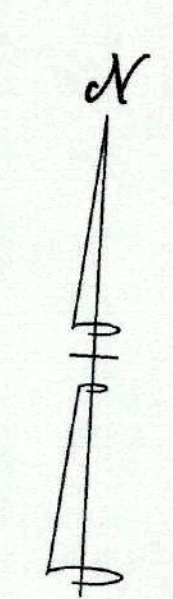
Signature _____ Date _____

Town Clerk _____ Date _____

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)





APPROVED DRACUT ZONING BOARD OF APPEALS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
SIGNATURE	DATE

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

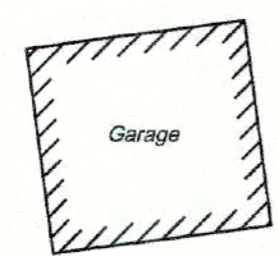
Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

RETAINING WALL: Base of Bottom Wall 156.0' Top of Bottom Wall 159.0' (No Cap) Base of Upper Wall 160.0' Top of Upper Wall 163.5' (With Cap)



#115 Greenmont Ave
n/ Alec B. Boudreau
Map 47 Lot 125

EROSION CONTROL:
Stabilized Construction
Entrance (See Detail C-107)

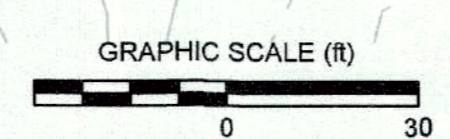
WALL: Bottom of Wall 161.0' Top of Wall 163.5' (With Cap)

WALL: Base of Wall 155.0' Top of Wall 160.0' (With Cap)

WALL: Bottom of Wall 155.0' Top of Wall 163.5' (With Cap)

Site Plan

SCALE: 1 in. = 30 ft.



LEGEND

- | | | |
|------------|------------|---------------------------------------|
| EXISTING | PROPOSED | GRADE CONTOUR |
| 100 | 100 | BORDERING VEGETATIVE WETLAND FLAGGING |
| WF-1 | | STONE WALL DRILL HOLE |
| o | | CONCRETE BOUND MARKER |
| ■ | | GENERAL TEXT |
| TEXT, Text | TEXT, Text | 50 FT NO BUILD ZONE |
| --- | --- | 100 FT BVW BUFFER ZONE |



DATE	REVISION	BY	Design by
06/05/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
08/20/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	Survey by KML/JAU
10/10/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	Draft by KML
11/07/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	Check by JAV/JAU
11/20/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	
12/10/24	REV'S PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	

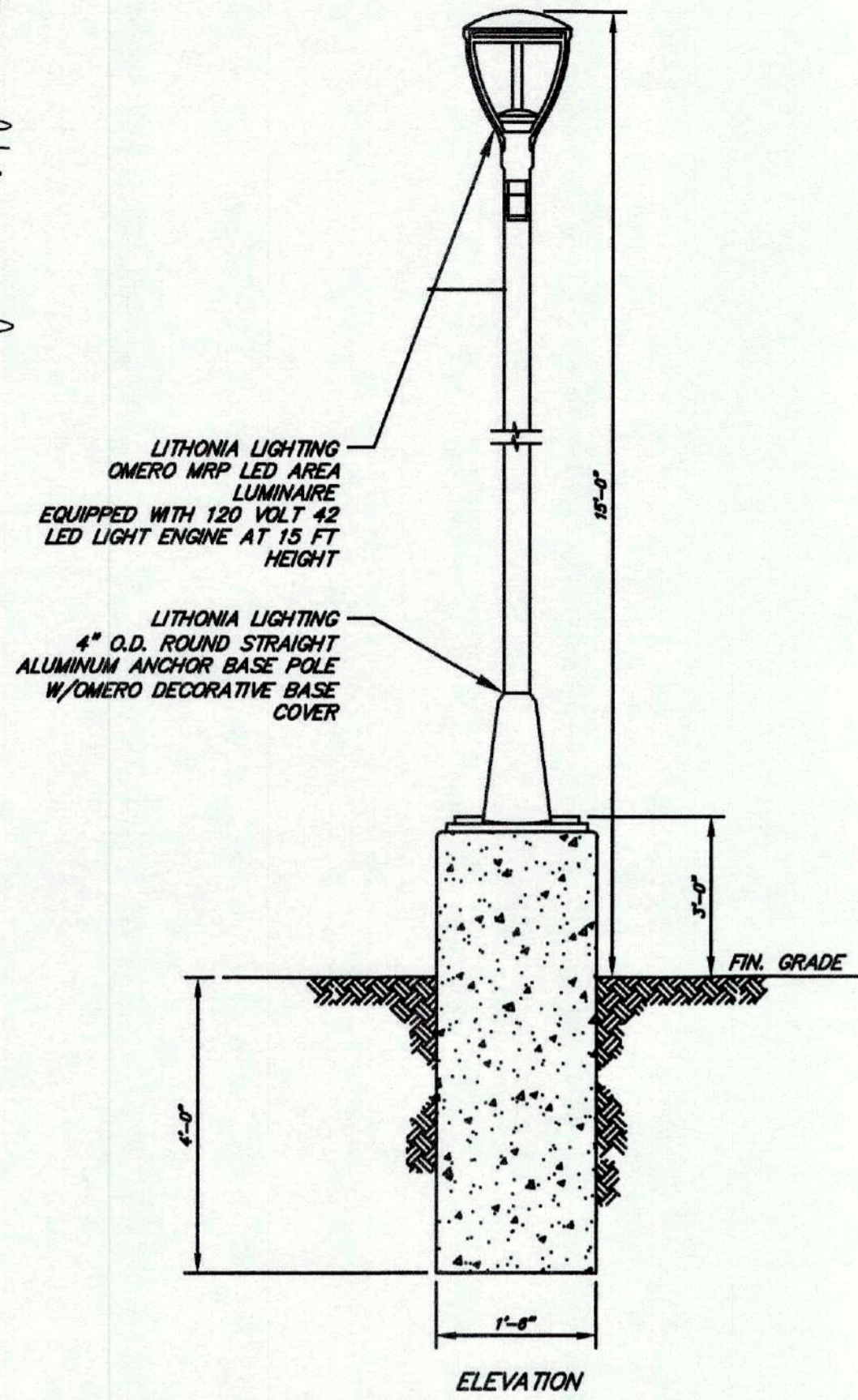
Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying & Land Development
25 Iron Avenue - Dracut, MA 01826 - (978) 455-0122
www.cornerstoneland.com

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

EROSION CONTROL PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 4 of 10

DRAWING NO.
C-104



SITE LIGHTING FIXTURE
NOT TO SCALE

- 0.5 FT CANDLE WATT
1.0 FT CANDLE WATT
2.0 FT CANDLE WATT

APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE DATE

For Registry Use Only

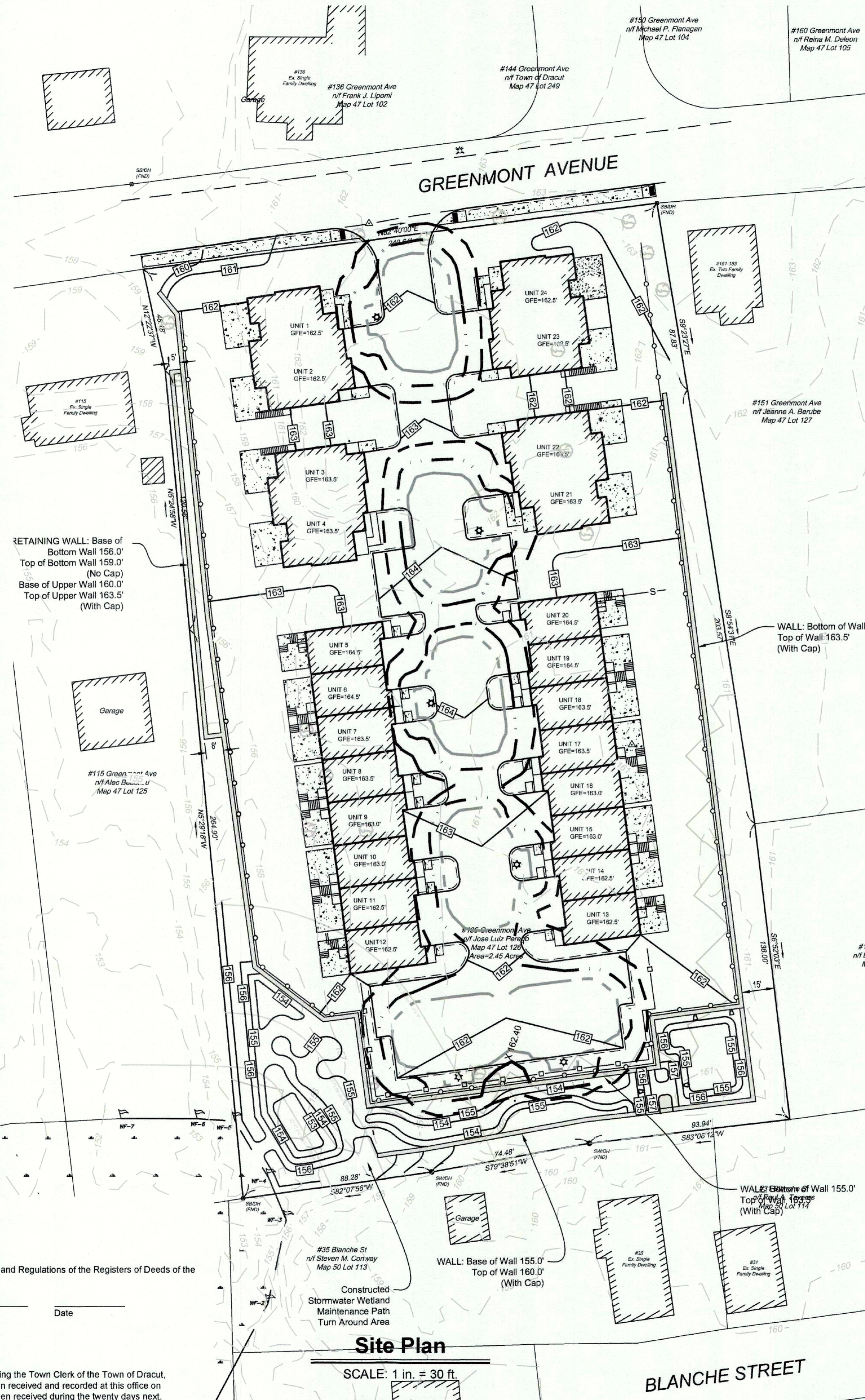
"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature Date

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____



DATE	REVISION	BY	DESIGN BY
06/05/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
08/20/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
10/10/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
11/07/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
11/20/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML
12/10/24	REVISED PER ZONING BOARD OF APPEALS MEETING AND ZBA PER REVIEW COMMENTS	KML	KML

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying - Land Development
25 Down Avenue, Suite 200, Lowell, MA 01854
(978) 455-0412
cornerstonelandassociates.com

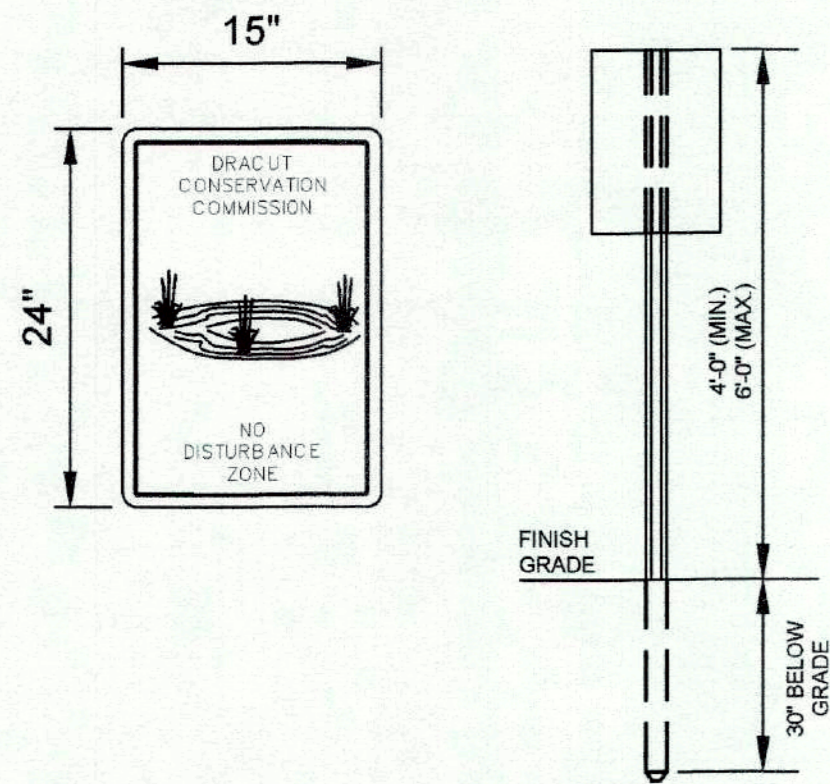
SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

LIGHTING PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

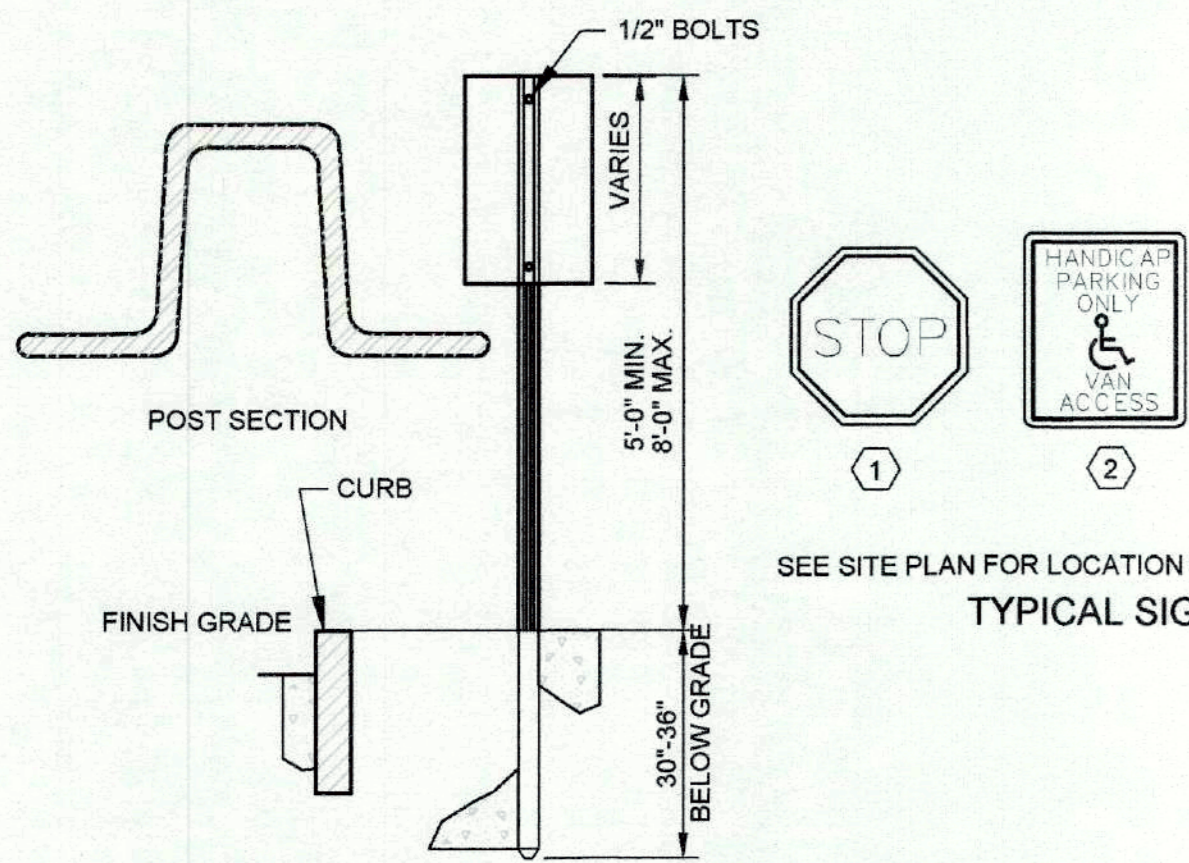
JOB NO.: 2021-235
SHEET: 5 of 10

DRAWING NO.
C-105

Not To Scale



WETLAND PERMANENT SIGN



SEE SITE PLAN FOR LOCATION OF THESE SIGNS.
TYPICAL SIGNS

APPROVED DRACUT ZONING BOARD OF APPEALS

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

SIGNATURE _____ DATE _____

For Registry Use Only

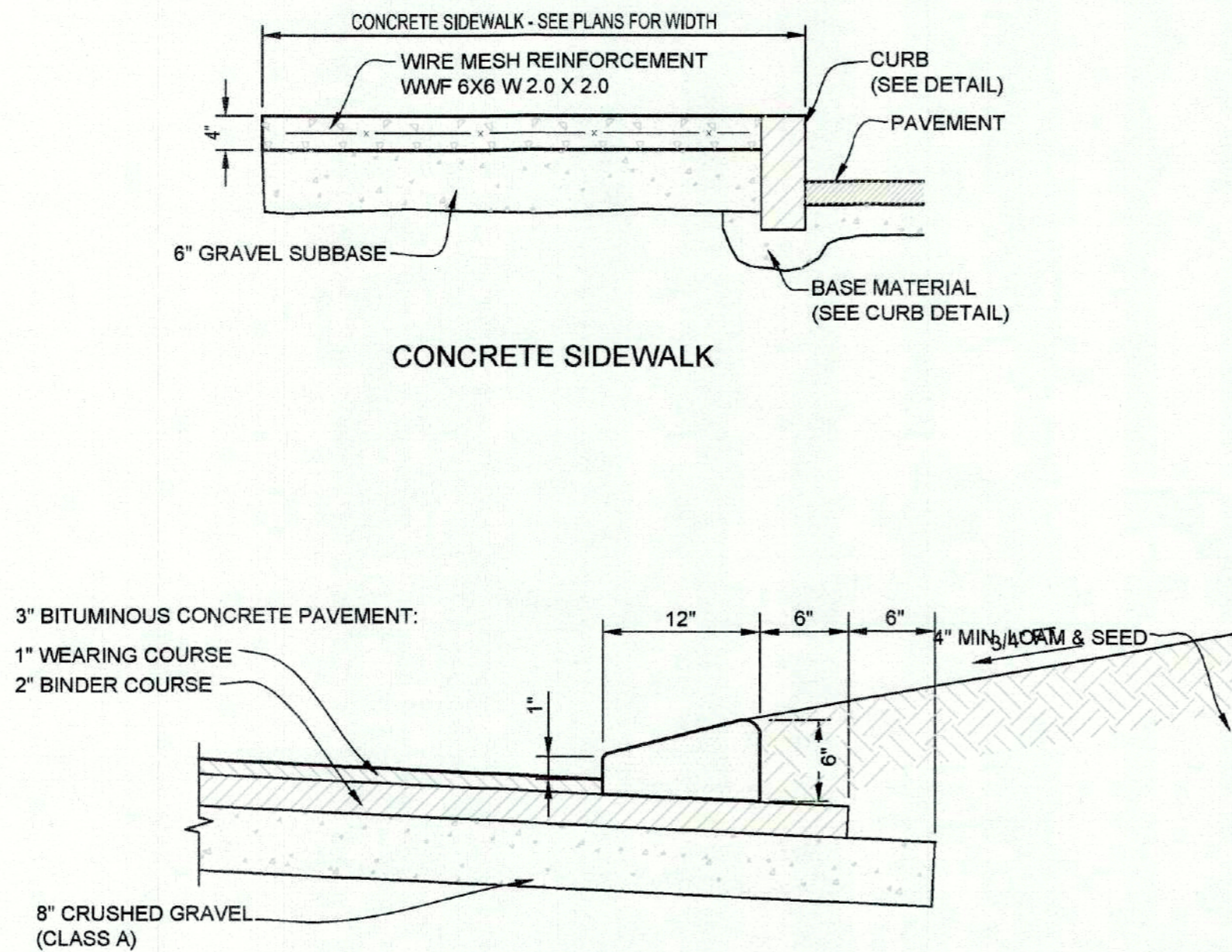
"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

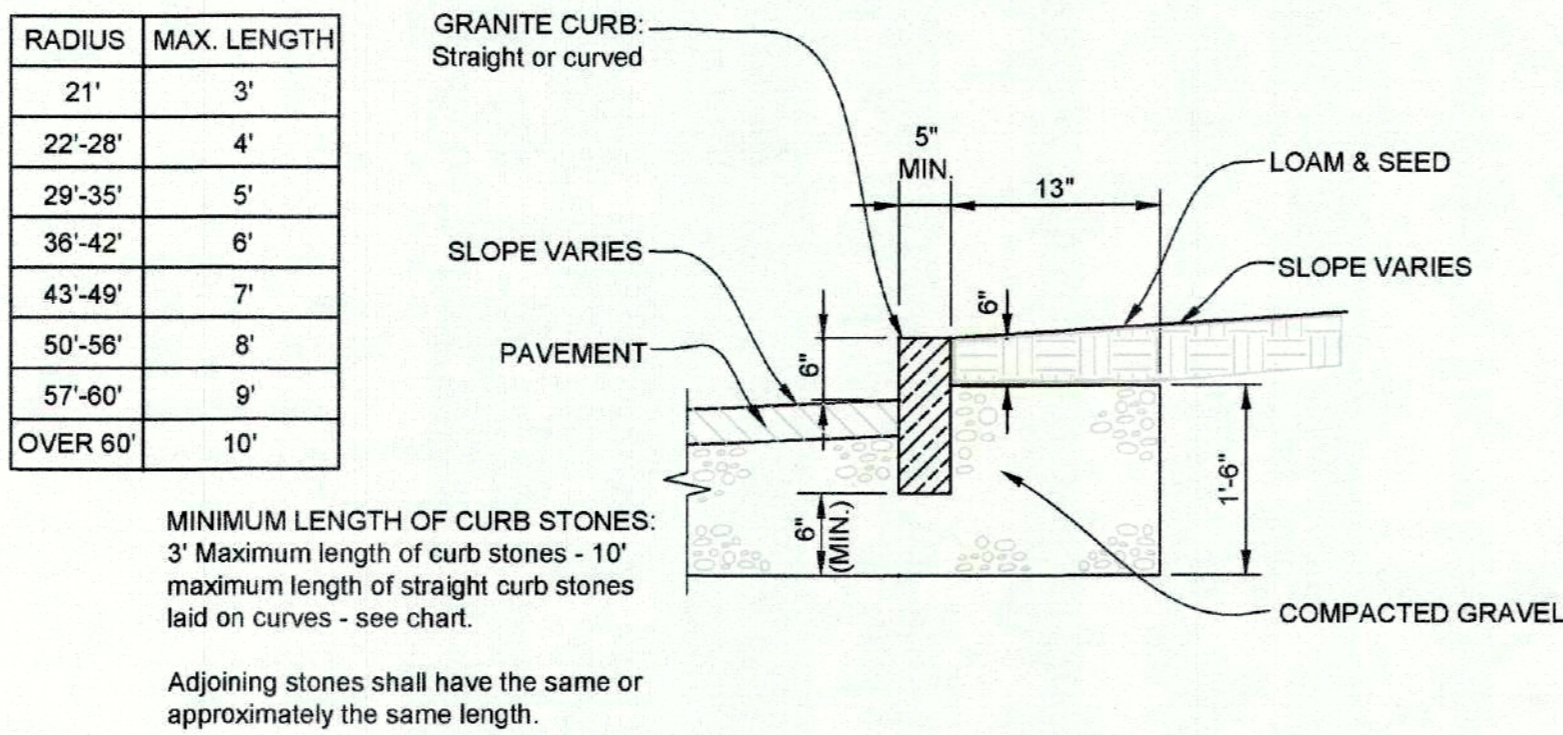
Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

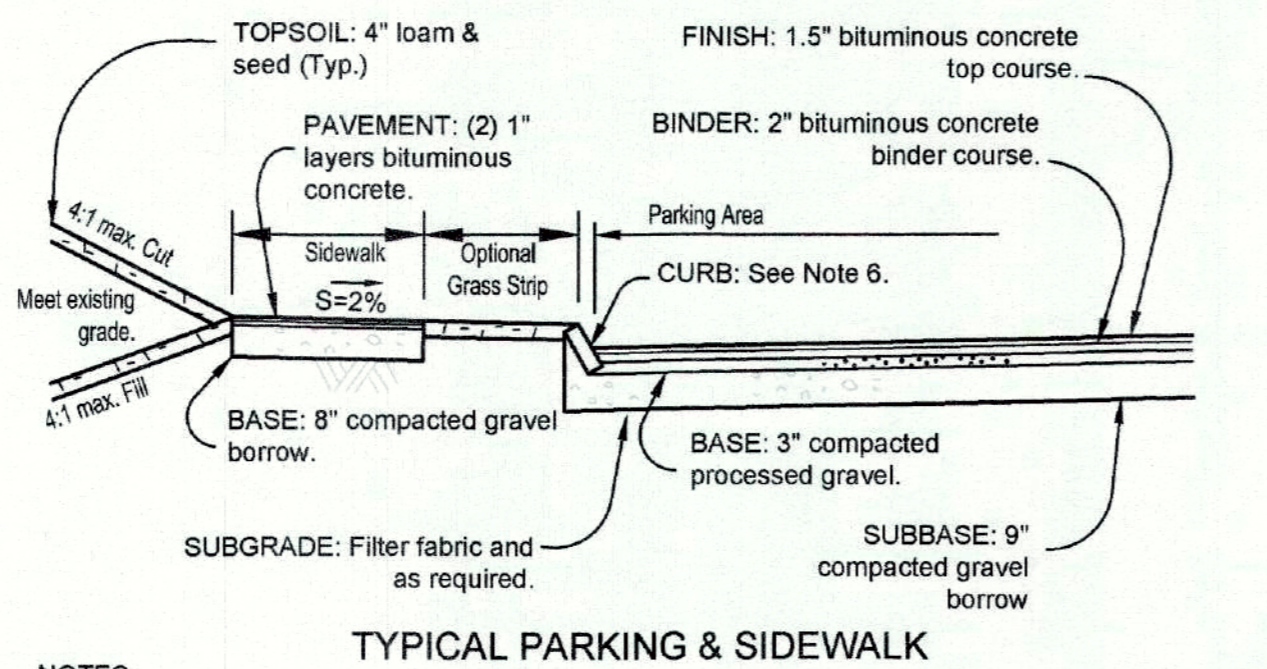
Town Clerk _____ Date _____



BITUMINOUS CAPE COD BERM

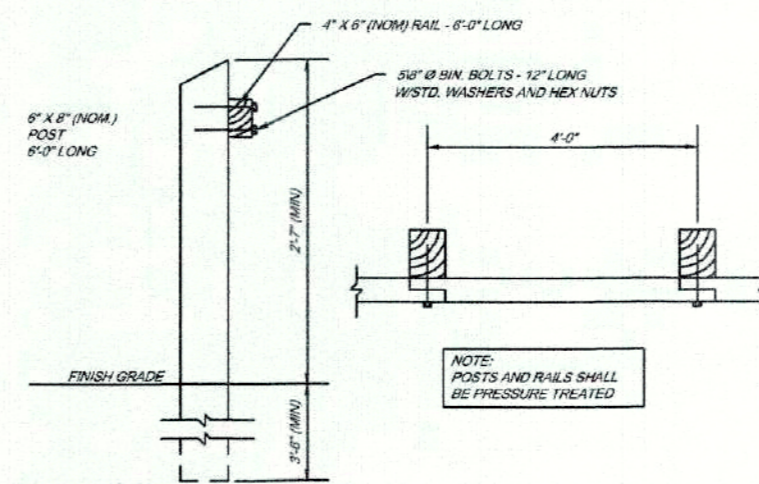


VERTICAL GRANITE CURB

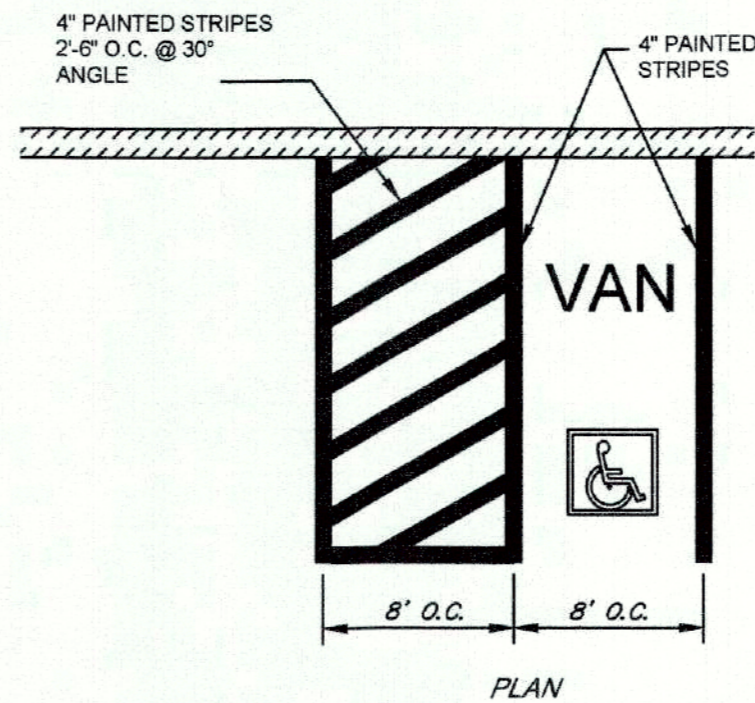


TYPICAL PARKING & SIDEWALK

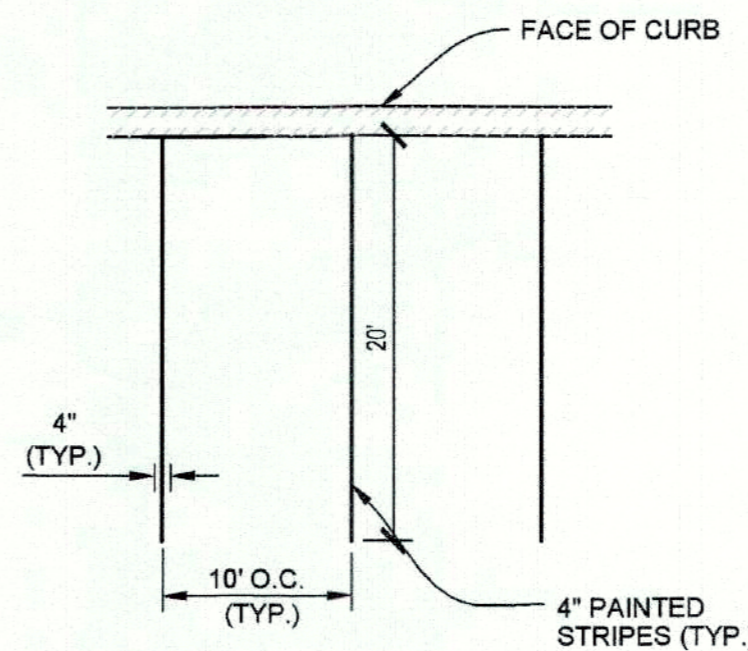
- NOTES:
1. Processed gravel reference: Mass. Highway Specs. M1.03.1.
 2. Gravel borrow reference: Mass. Highway Specs. M.1.03.0 (type b)
 3. Bituminous Concrete reference: Mass. Highway Specs. Section 460, Class I, Type I-1, and M3.11.00.
 4. Tack coat reference: Mass. Highway Specs. Section 460.62.
 5. All compaction to meet 95% maximum dry density.
 6. Curbing to be Vertical Granite or Continuous Bituminous as shown on Site Plan.



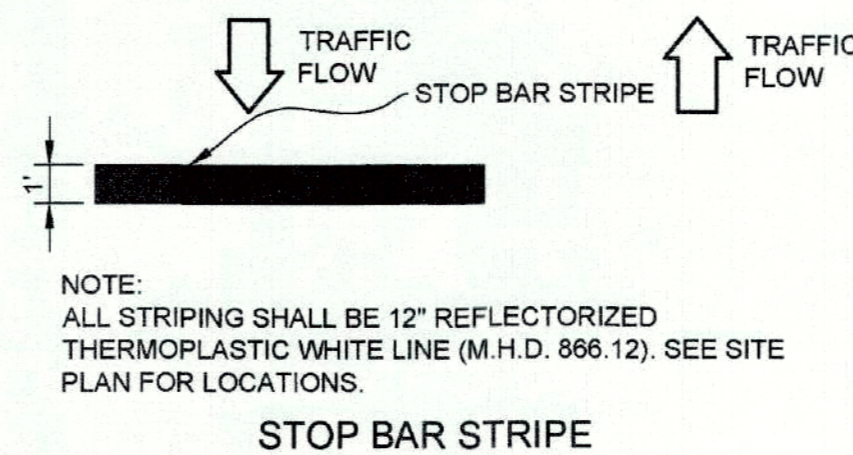
GUARDRAIL



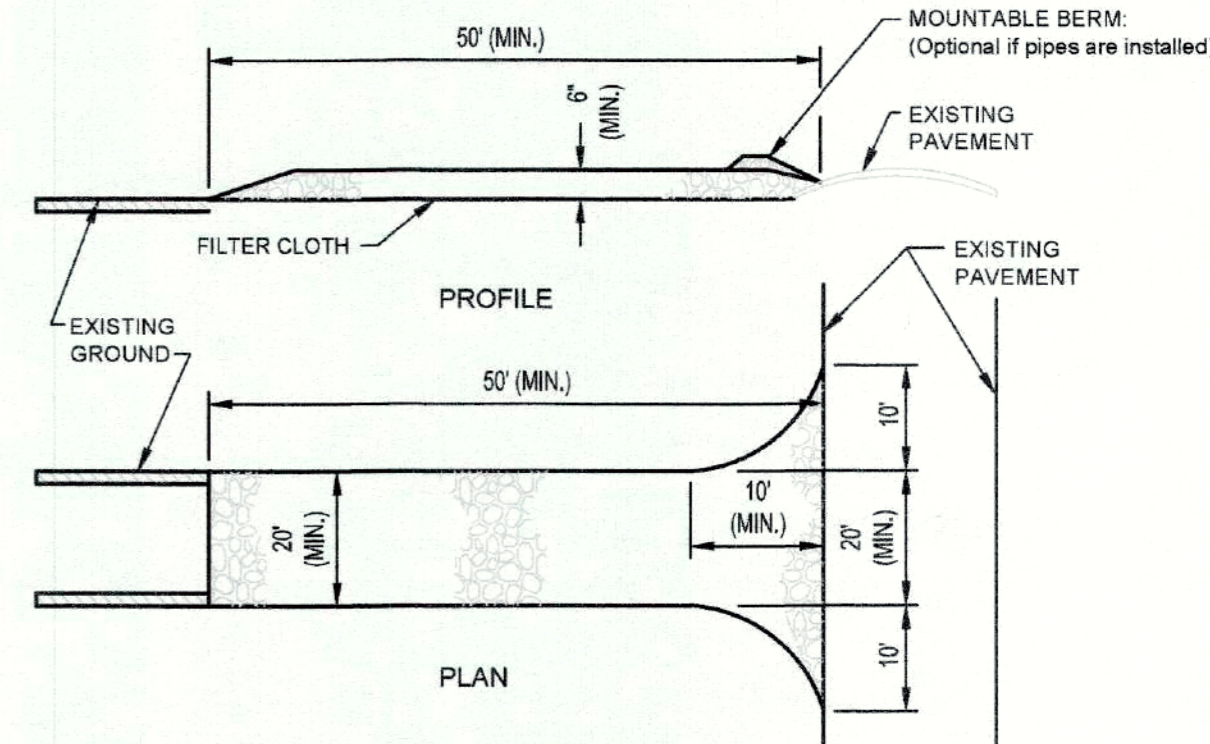
STABILIZED CONSTRUCTION ENTRANCE



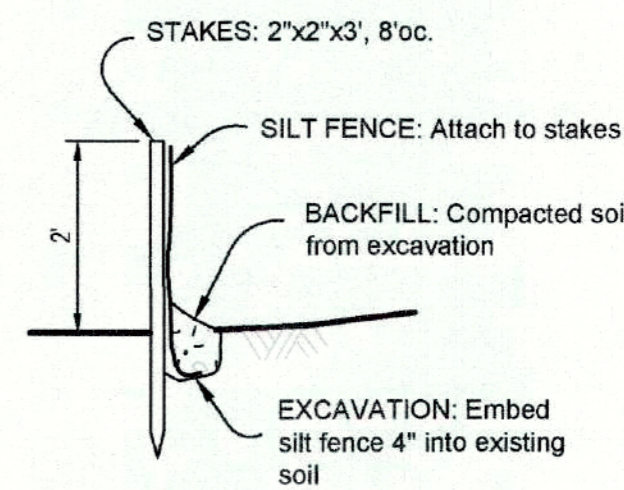
PARKING STALL STRIPING



STOP BAR STRIPE

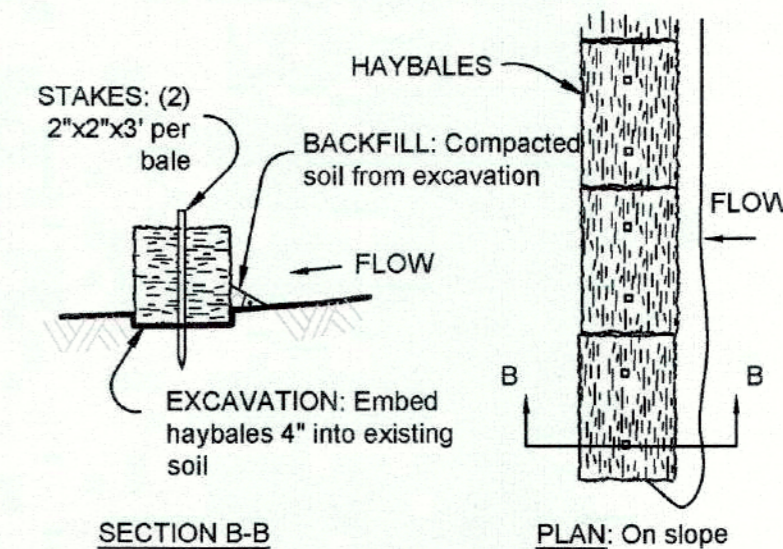


1. STONE SIZE - Use 2" stone, or reclaimed or recycled concrete equivalent.
2. LENGTH - As required, but not less than 50 feet (except on a single residence lot where a 30 foot minimum length would apply).
3. THICKNESS - Not less than six (6) inches.
4. WIDTH: Ten (10) foot minimum, but not less than the full width at points where ingress or egress occurs.
5. FILTER CLOTH: Will be placed over the entire area prior to placing of stone. Filter cloth will not be required on a single family residence lot.
6. SURFACE WATER: All surface water flowing or diverted toward construction entrance shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. MAINTENANCE: The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand and repair, and/or cleanout of any measures used to trap sediment. All sediment spilled, dropped, washed, or tracked onto public rights-of-way must be removed immediately.
8. WASHING: Wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. When washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. INSPECTION: Periodic inspection and needed maintenance shall be provided after each rain.



SILT FENCE
SECTION

NOTE: Silt fence may be used alone or as a backing for staked haybales as specified by the Conservation Commission



STAKED HAYBALES



REVISION	DATE	BY	DESIGN BY
REV. PER ZONING BOARD OF APPEALS MEETING 06/05/24		KML	KML
REV. PER ZONING BOARD OF APPEALS MEETING 08/20/24		KML	KML
REV. PER ZONING BOARD OF APPEALS MEETING 10/10/24		KML	KML
REV. PER ZONING BOARD OF APPEALS MEETING 11/07/24		KML	KML
REV. PER ZONING BOARD OF APPEALS MEETING 11/20/24		KML	KML
REV. PER ZONING BOARD OF APPEALS MEETING 12/10/24		KML	KML

Cornerstone Land Associates, LLC
Civil & Structural Engineering
Land Surveying • Land Development
25 Dean Avenue • Dracut, MA 01826 • (978) 835-9102
info@cornerstoneland.com

SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

DETAILS PLAN Comprehensive Permit Application 135 GREENMONT AVENUE DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 7 of 10

DRAWING NO.

C-107

Details

Not To Scale



Design by	KML
Survey by	KML/TAJ
Draft by	KML
Check by	JAV/TAJ

DATE	REVISION
06/05/24	REVIS PER ZONING BOARD OF APPEALS MEETING
08/20/24	REVIS PER ZONING BOARD OF APPEALS MEETING
10/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING
11/07/24	REVIS PER ZONING BOARD OF APPEALS MEETING
11/20/24	REVIS PER ZONING BOARD OF APPEALS MEETING
12/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING

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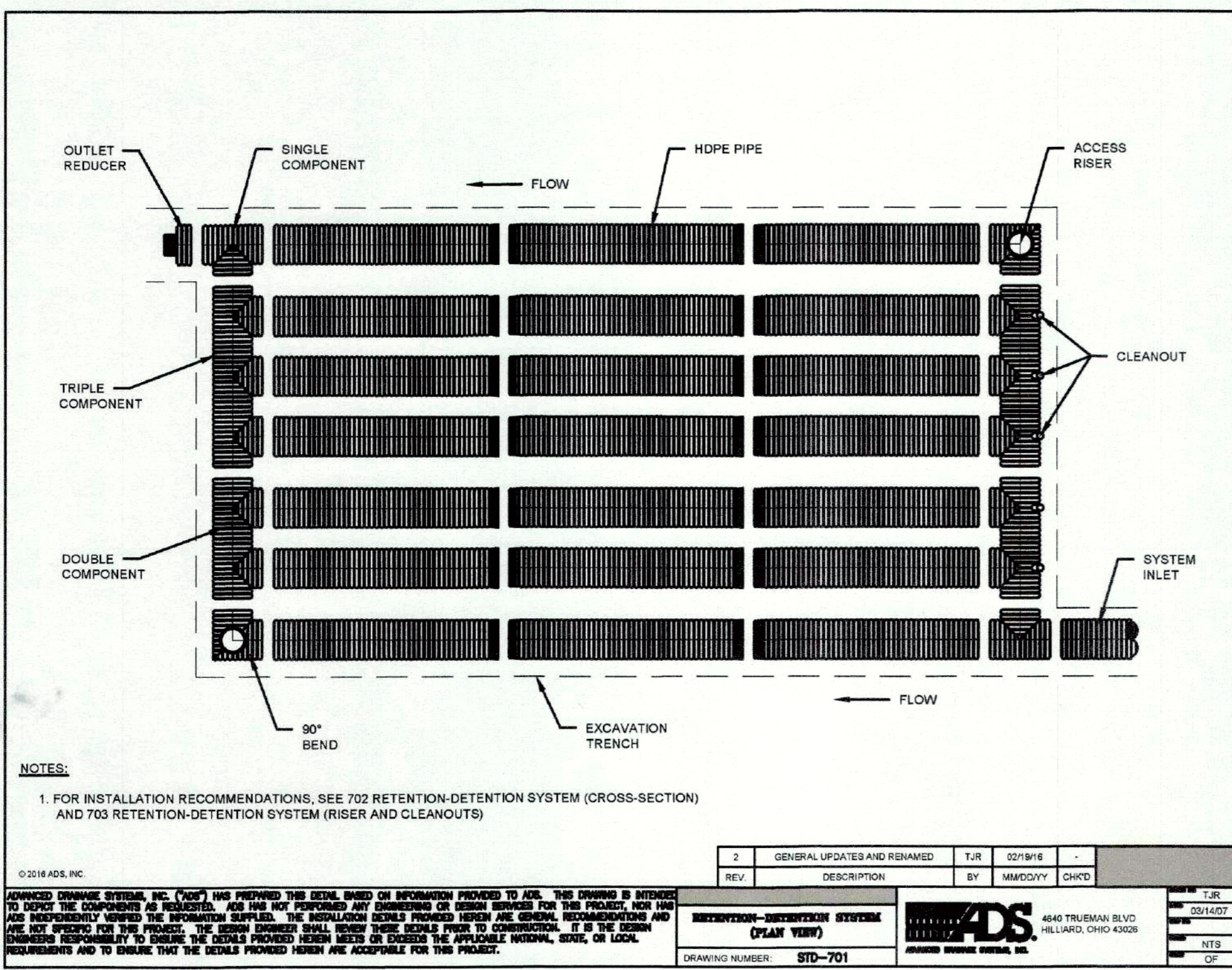
SCALE: As Shown
DATE: May 18, 2023
PREPARED FOR:
Riverbank Properties
908 Lawrence Street
Lowell, MA 01852

DETAILS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 9 of 10

DRAWING NO.

C-109

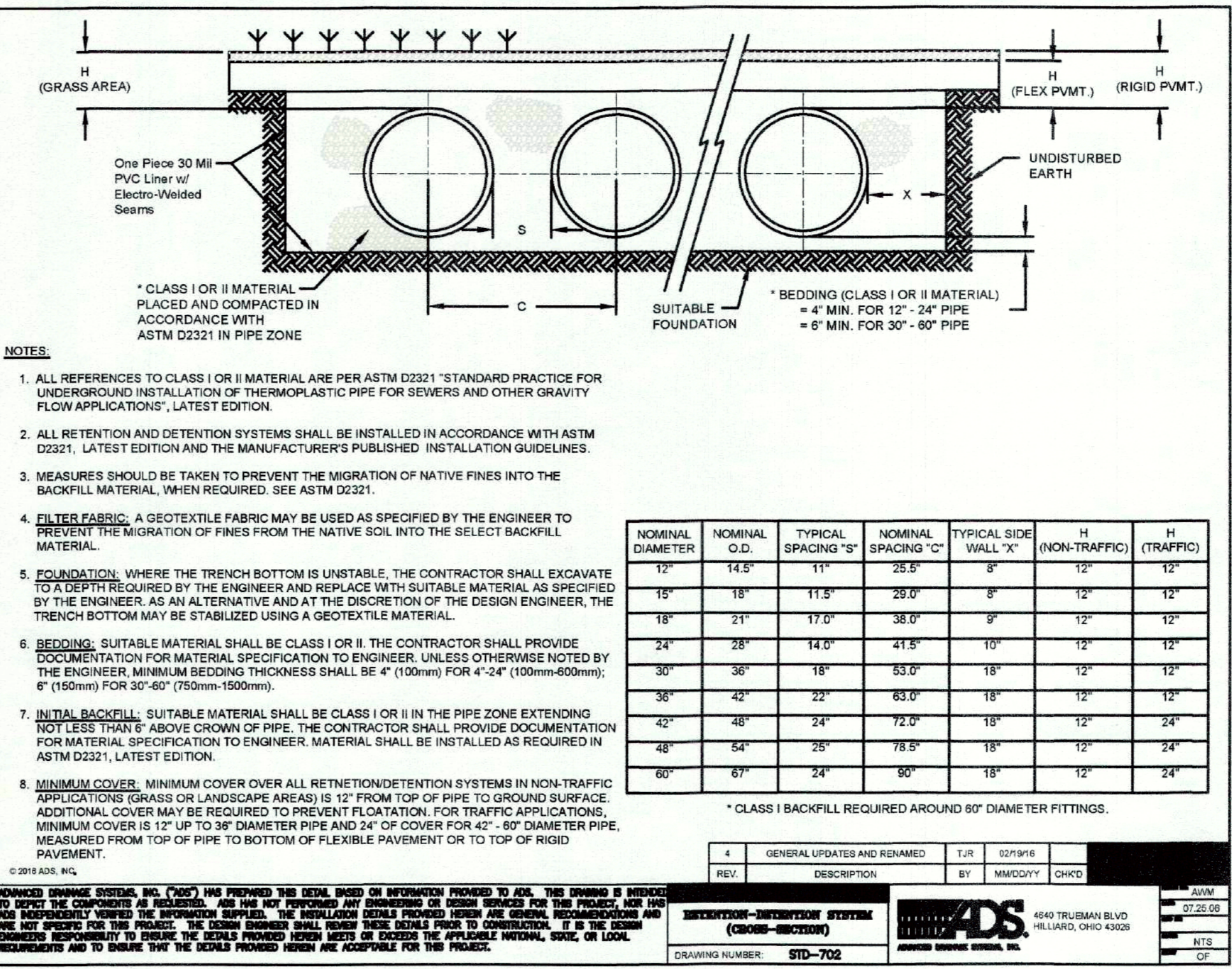


NOTES:
1. FOR INSTALLATION RECOMMENDATIONS, SEE 702 RETENTION-DETENTION SYSTEM (CROSS-SECTION) AND 703 RETENTION-DETENTION SYSTEM (RISER AND CLEANOUTS)

REV	DESCRIPTION	BY	DATE	CHKD
1	GENERAL UPDATES AND RENAMED	TJR	02/19/16	
2	GENERAL UPDATES AND RENAMED	TJR	02/19/16	

440 TRUBMAN BLVD
MILLAND, OHIO 43006

DRAWING NUMBER: STD-701



- NOTES:
- ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
 - ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.
 - MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED. SEE ASTM D2321.
 - FILTER FABRIC:** A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.
 - FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
 - BEDDING:** SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm), 6" (150mm) FOR 30"-60" (750mm-1500mm).
 - INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
 - MINIMUM COVER:** MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" UP TO 36" DIAMETER PIPE AND 24" OF COVER FOR 42"-60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

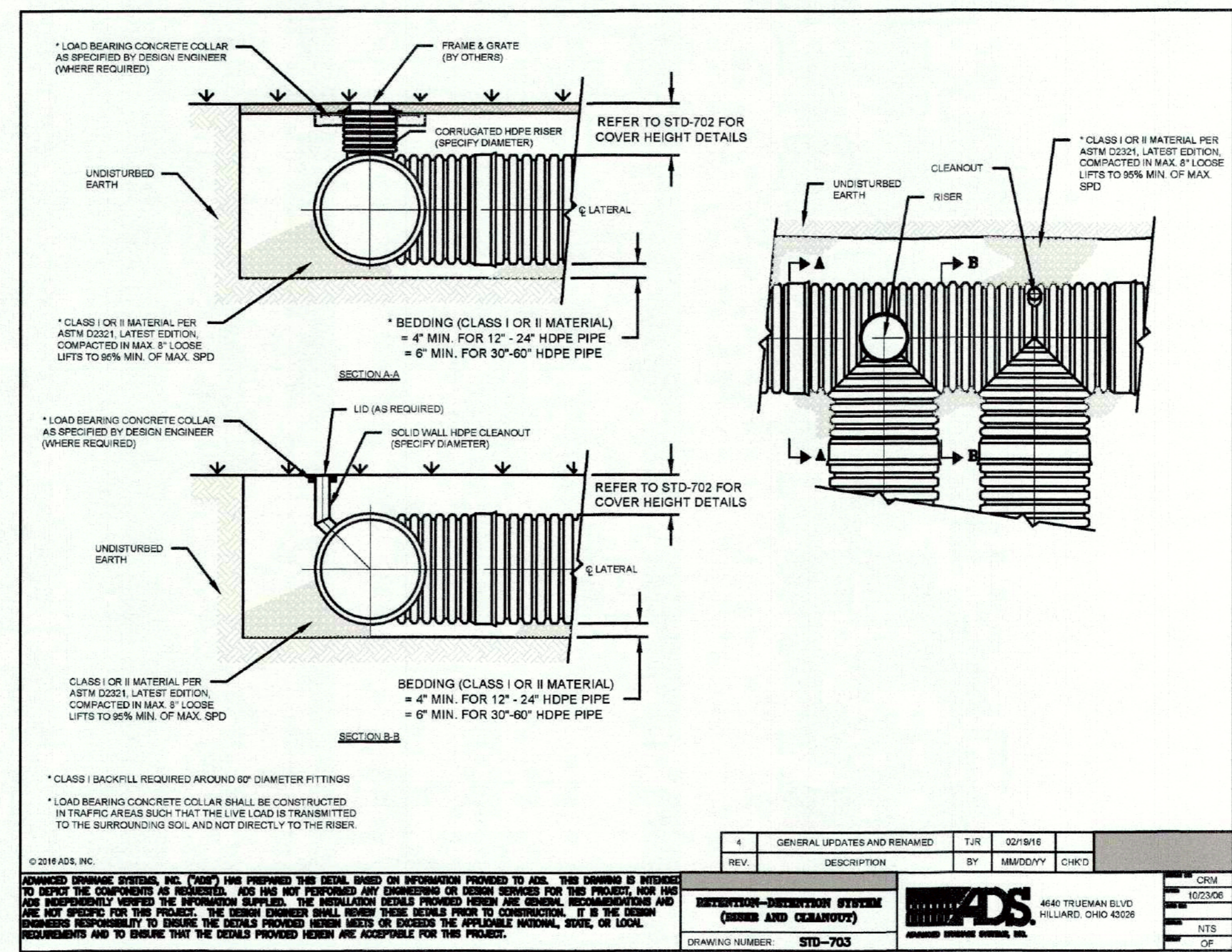
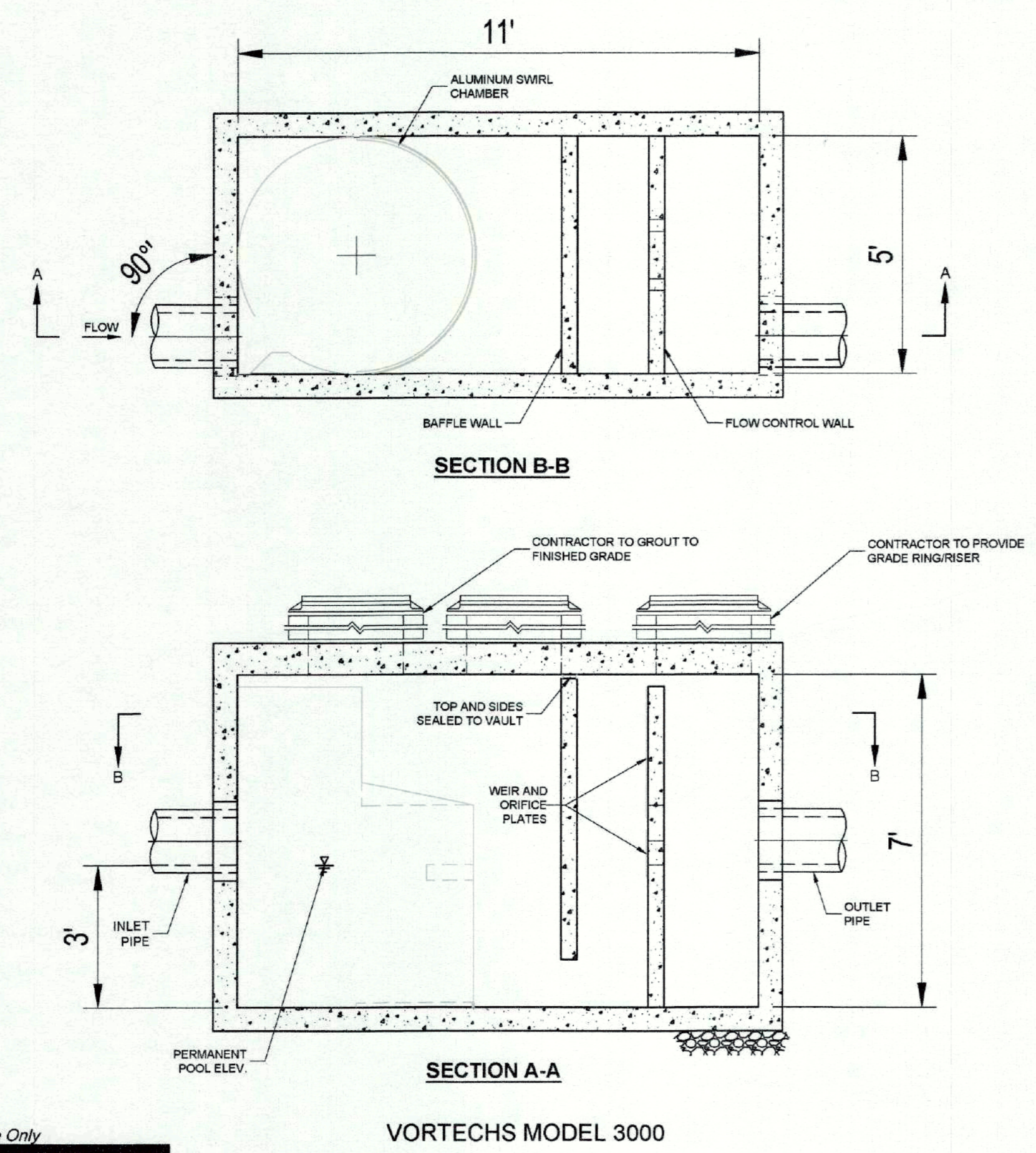
NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL SPACING "S"	NOMINAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12"	14.5"	11"	25.5"	8"	12"	12"
15"	18"	11.5"	29.0"	8"	12"	12"
18"	21"	17.0"	38.0"	9"	12"	12"
24"	28"	14.0"	41.5"	10"	12"	12"
30"	36"	18"	53.0"	18"	12"	12"
36"	42"	22"	63.0"	18"	12"	12"
42"	48"	24"	72.0"	18"	12"	24"
48"	54"	26"	78.5"	18"	12"	24"
60"	67"	24"	90"	18"	12"	24"

* CLASS I BACKFILL REQUIRED AROUND 90° DIAMETER FITTINGS.

REV	DESCRIPTION	BY	DATE	CHKD
1	GENERAL UPDATES AND RENAMED	TJR	02/19/16	
2	GENERAL UPDATES AND RENAMED	TJR	02/19/16	

440 TRUBMAN BLVD
MILLAND, OHIO 43006

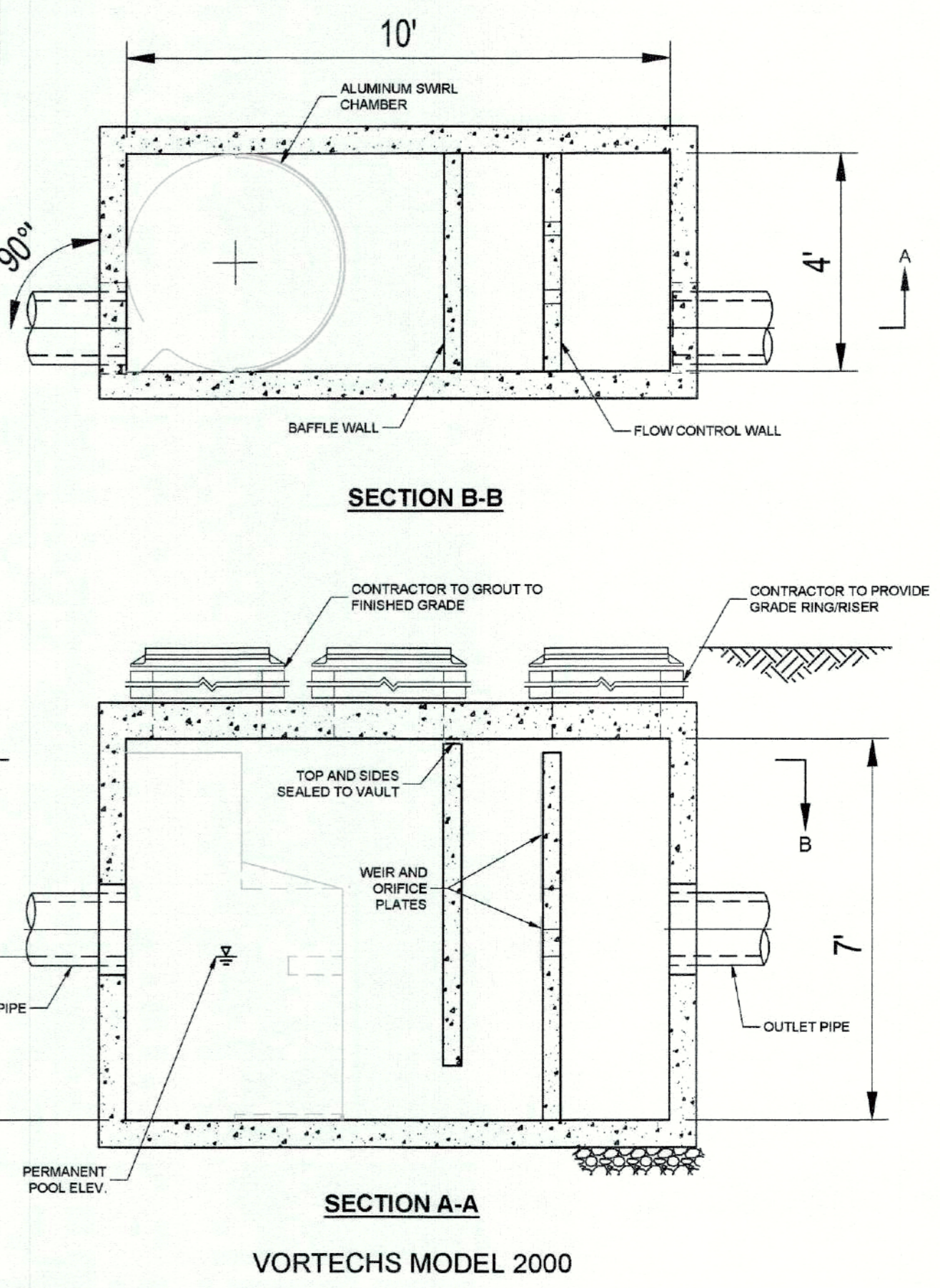
DRAWING NUMBER: STD-702



REV	DESCRIPTION	BY	DATE	CHKD
1	GENERAL UPDATES AND RENAMED	TJR	02/19/16	
2	GENERAL UPDATES AND RENAMED	TJR	02/19/16	

440 TRUBMAN BLVD
MILLAND, OHIO 43006

DRAWING NUMBER: STD-703



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

Details

Not To Scale



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE _____ DATE _____

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

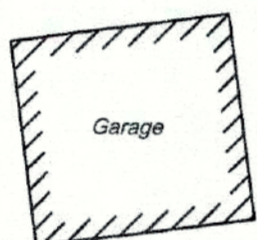
Signature _____ Date _____

Notice of Appeals

I, _____, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on _____, and no appeal of such has been received during the twenty days next.

Town Clerk _____ Date _____

RETAINING WALL: Base of Bottom Wall 156.0' Top of Bottom Wall 159.0' (No Cap) Base of Upper Wall 160.0' Top of Upper Wall 163.5' (With Cap)



#115 Greenmont Ave
n/ Alec Beauclerk
Map 47 Lot 125

WALL: Bottom of Wall 161.0' Top of Wall 163.5' (With Cap)

#151 Greenmont Ave
n/ Jeanne A. Berube
Map 47 Lot 127

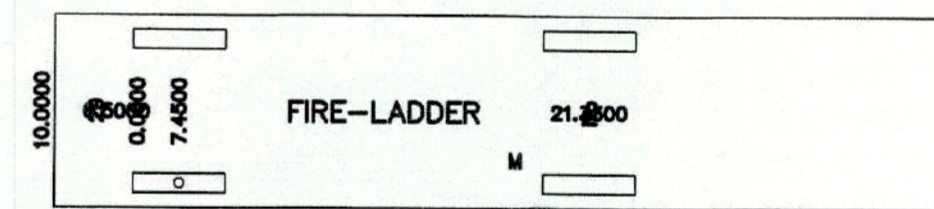
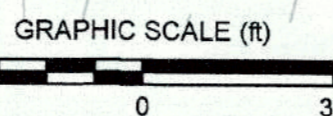
#165 Greenmont Ave
n/ Joel Lyon
Map 47 Lot 128

WALL: Base of Wall 155.0' Top of Wall 160.0' (With Cap)

WALL: Bottom of Wall 155.0' Top of Wall 163.5' (With Cap)

Site Plan

SCALE: 1 in. = 30 ft.



LADDER APPARATUS DIMENSIONS
Length=48'
Width=10'
Height=12'
Wheelbase =21'-4"
S.A.E Turn Radius=49'-9"
Wheelbase width=8'-2"
Ground Clearance=11"

LEGEND

- | | | |
|------------|------------|---------------------------------------|
| EXISTING | PROPOSED | GRADE CONTOUR |
| 100 | 100 | BORDERING VEGETATIVE WETLAND FLAGGING |
| WF-1 | | STONE WALL DRILL HOLE |
| o | | CONCRETE BOUND MARKER |
| TEXT, Text | TEXT, Text | GENERAL TEXT |
| | | 50 FT NO BUILD ZONE |
| | | 100 FT BWV BUFFER ZONE |



DATE	REVISION	BY	DESIGN BY
06/05/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML
08/20/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML
10/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML
11/07/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML
11/20/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML
12/10/24	REVIS PER ZONING BOARD OF APPEALS MEETING AND ZEA PER REVIEW COMMENTS	KML	KML

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SCALE: As Shown
DATE: May 18, 2023
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Lowell, MA 01852

EMERGENCY ACCESS PLAN
Comprehensive Permit Application
135 GREENMONT AVENUE
DRACUT, MASSACHUSETTS

JOB NO.: 2021-235
SHEET: 10 of 10

DRAWING NO.
C-110