

# **SITE PLAN**

APPROVED DRACUT ZONING BOARD OF APPEALS

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**SIGNATURE** \_\_\_\_\_ **DATE** \_\_\_\_\_

*For Registry Use Only*

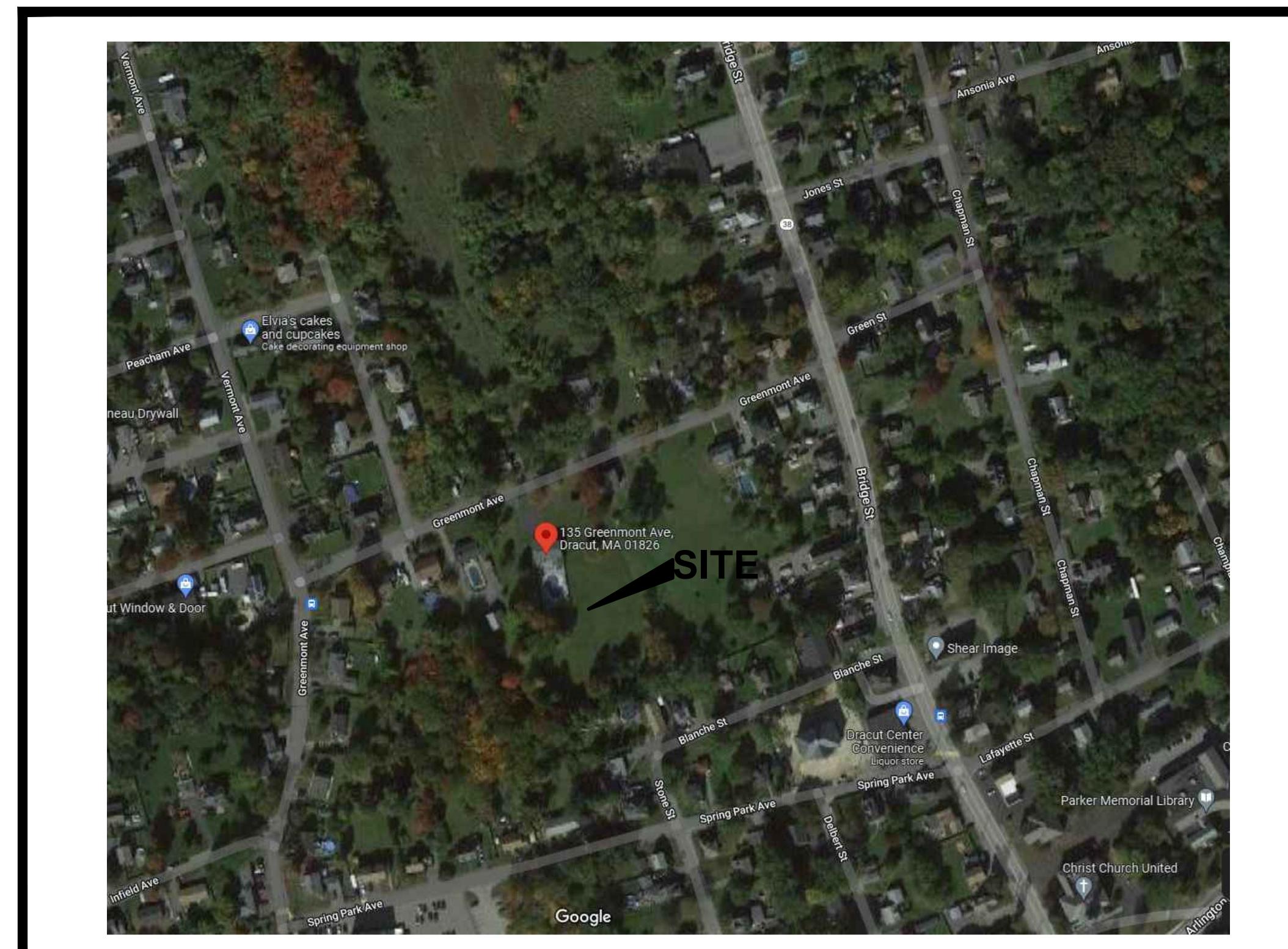
certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

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Signature \_\_\_\_\_ Date \_\_\_\_\_

## Notice of Appeals

\_\_\_\_\_, and no appeal of such has been received during the twelve months preceding the date of this instrument.



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C-107	Details & Sections
C-108	Details & Sections
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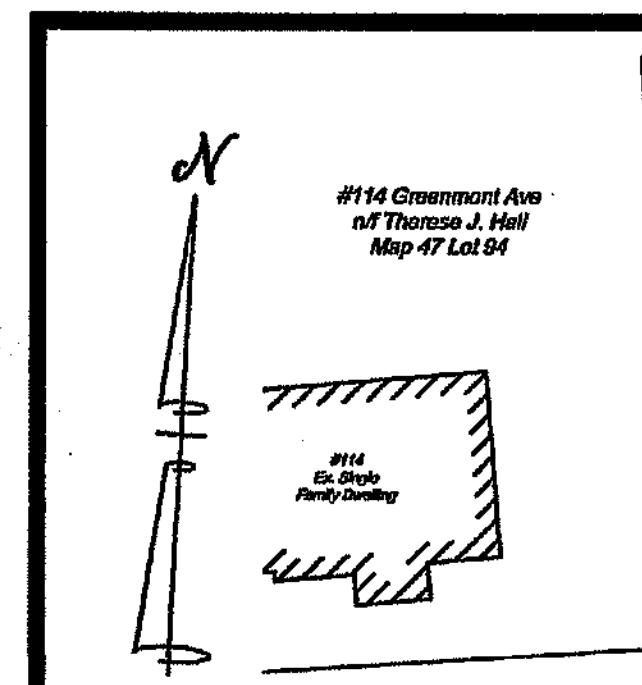
# **Greenmont Commons**

## **135 Greenmont Avenue**

### **Dracut, MA**

DATE	REVISION	BY
12/10/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
11/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML
08/20/24	REVS PER ZONING BOARD OF APPEALS MEETING AND ZBA PEER REVIEW COMMENTS	KML

May 18, 2023 Dwg. No. 2021-235



ONTARIO AVENUE



APPROVED DRACUT ZONING BOARD OF APPEALS

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For Registry Use Only

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature \_\_\_\_\_ Date \_\_\_\_\_

Notice of Appeals

I, \_\_\_\_\_, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on \_\_\_\_\_, and no appeal of such has been received during the twenty days next.

Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

Site Plan

SCALE: 1 in. = 30 ft.

GRAPHIC SCALE (ft)

BLANCHE STREET

REFERENCES

1. DEEDS: A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS: A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc., Civil Engineers & Surveyors; dated June 23, 1968; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS: A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 5, 2022.

NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property shown is owned by Jose Luis "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps: Map #25017CD141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at B/W Wellflags A1-A6.

10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 26, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: Known existing underground utilities are shown on the Site Plan. A determination as to the existence of any other underground utilities has not been made and the absence of same is not implied or intended. The contractor shall contact the proper authorities to verify the location of all existing underground utilities and structures prior to construction.

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.



Locus Map

Not To Scale

LEGEND

EXISTING	PROPOSED
100	100
WF-1	
TEXT, Text	TEXT, Text
—	—
GRADE CONTOUR	
BORDERING VEGETATIVE WETLAND FLAGGING	
STONE WALL DRILL HOLE	
CONCRETE BOUND MARKER	
GENERAL TEXT	
50 FT NO BUILD ZONE	
100 FT B/W BUFFER ZONE	

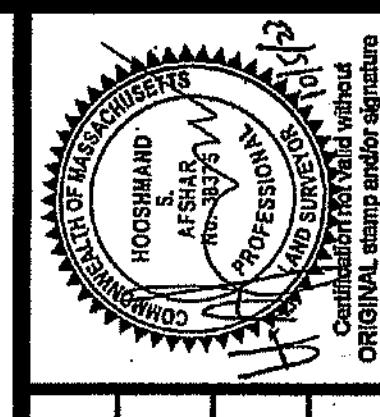
EXISTING CONDITIONS PLAN  
Comprehensive Permit Application  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS

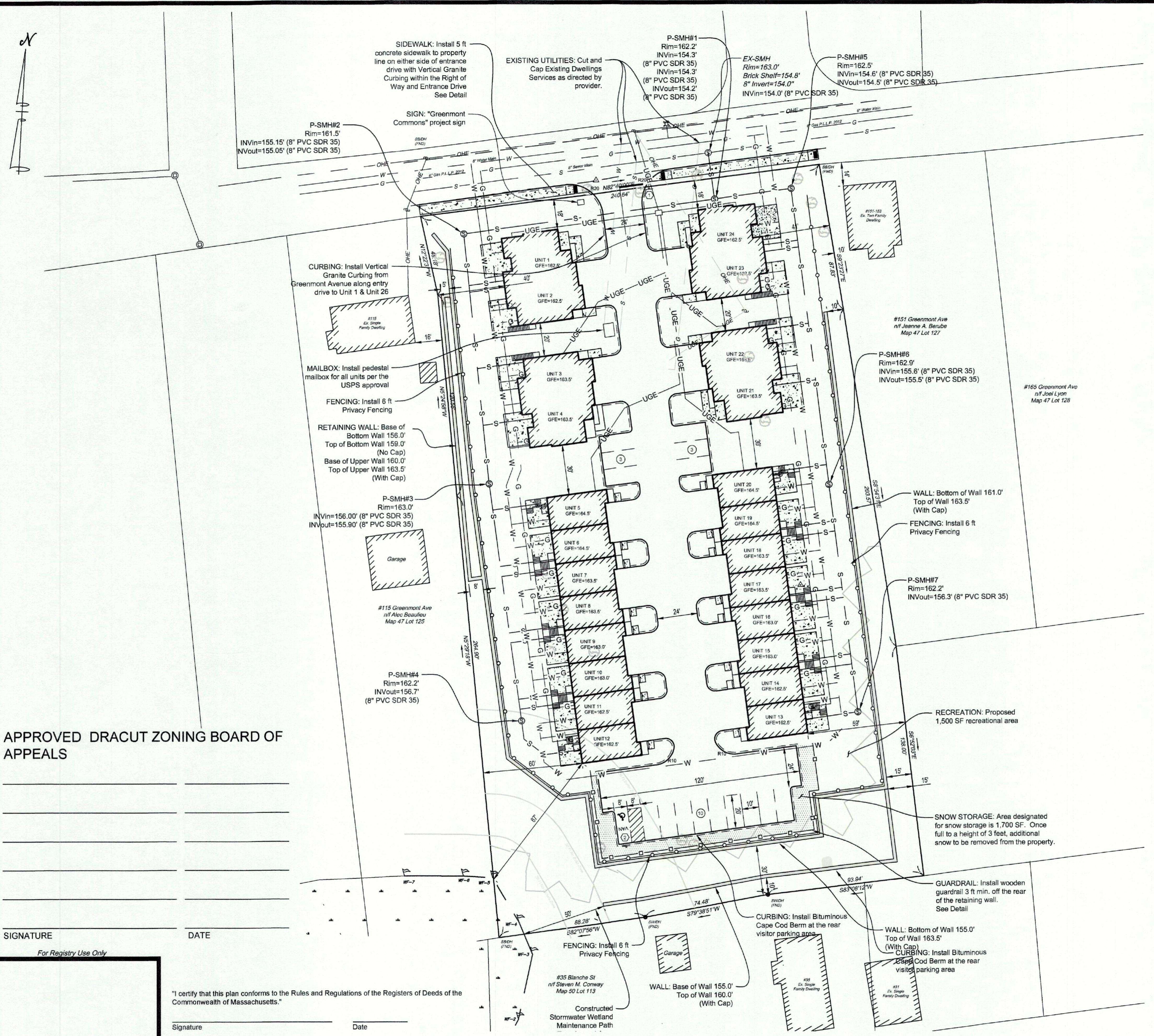
CORNERSTONE  
Land Associates, LLC  
Civil Engineering - Land Planning  
25 Dean Avenue - Dracut, MA 01826  
kmconsultants@comcast.net

SCALE: As Shown  
DATE: May 18, 2023  
PREPARED FOR:  
Riverbank Properties  
908 Lawrence Street  
Lowell, MA 01852

JOB NO.: 2021-235  
SHEET: 1 of 8  
DRAWING NO.  
C-101

DATE	REVISION REVIS. PER ZONING AND ZER. PER REVIEW COMMENTS	BOARD OF APPEALS MEETING AND ZER. PER REVIEW COMMENTS	DESIGN BY KML	SURVEY BY KML/TAJ	DRAFT BY KML	CHECK BY JAV/TAJ
10/01/23						





#### REFERENCES

1. DEEDS:  
A. Deed Recorded in the Middlesex North District Registry of Deeds in Book 31043 Page 105.

2. PLANS:  
A. "Plan of Land in Dracut, Mass"; prepared by Dana F. Perkins & Sons, Inc. Civil Engineers & Surveyors; dated June 23, 1986; recorded in the Middlesex North District Registry of Deeds in Book of Plans 104 Page 25.

3. DOCUMENTS:  
A. Comprehensive Permit Application Submittal for Branco Perego; by Cornerstone Land Consultants, Inc.; dated April 20, 2022.

#### NOTES

1. PURPOSE: This plan is to meet the filing requirements of the Dracut Zoning Board of Appeals to obtain a Comprehensive Permit Application Approval for 24 apartment units. These Plans shall not be utilized for construction. Construction documents will be issued once the Comprehensive Permit is approved and the documents are requested in writing by the Applicant.

2. PROPERTY LINES: Existing property lines shown are from Reference 1A and 2A.

3. OWNER & APPLICANT: The subject property shown is owned by Jose Luis "Branco" Perego; 135 Greenmont Avenue, Dracut, MA as shown by current assessor's records. The applicant is Riverbank Properties.

4. ZONING: All lots are within the R-1 (Residential) Zoning District.

5. TOPOGRAPHY: Site details shown are the result of an instrument survey performed in February through April 2022. Vertical datum shown is the North American Vertical Datum of 1988 (NAVD88).

6. FLOODPLAIN: The property is located in a Zone X area and is not located within a 100 Year floodplain area according to the most recent FEMA maps; Map #25017C0141E dated June 4, 2010.

7. ACEC: The property is not located within an Area of Critical Environmental Concern.

8. NHESP: There are no estimated habitats of rare wildlife or certified vernal pools on the property.

9. RESOURCE AREA: Existing resource area flags were identified in the field by this office and the flagging was located by instrument survey as described by Note 5. Permanent sign markers to be installed at BVW Wetflags A1-A6.

10. LIMIT OF WORK: The location of the erosion control within the wetland buffer area will be the limit of work line as shown. Erosion Control to be installed 1 ft off of the western and southern property lines.

11. SOILS: Soils on the site have been classified in accordance with the USDA Middlesex County Soil Report Version 12, dated February 28, 2010, as 310A - Woodbridge fine sandy loam, 0-3% slopes and 71B - Ridgebury fine sandy loam, 3-8% slopes. See Reference 3A for additional USDA soil information.

12. UTILITIES: The location of all existing subsurface sewage disposal systems and other utilities shown are approximate and must be confirmed by the respective utility authorities prior to any construction. The utility authorities shall also be consulted for their respective specifications prior to installation of all proposed utilities shown. All existing utilities to the existing dwelling to be demolished and cut and capped as required.

Proposed Sewer Flow from 24 Unit Multi Family Townhouse Development = 7,920 GPD.

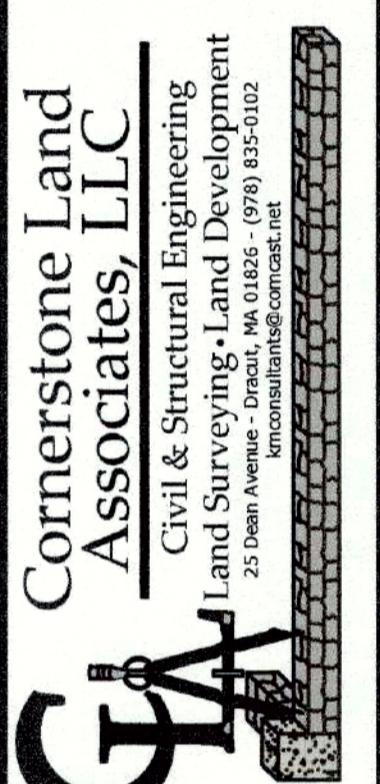
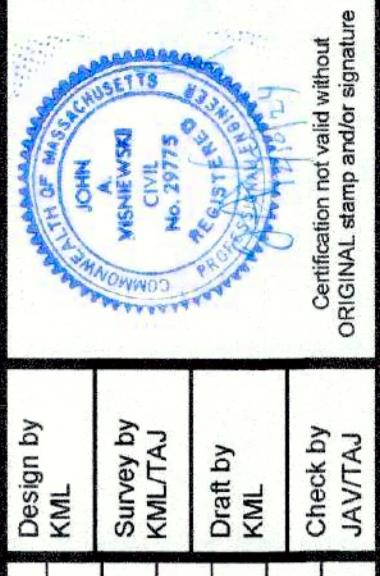
At a minimum, the builder shall utilize the following minimum utility sizing for each unit:  
A. Sewer Service Main Line -> Connection -> 8" SDR 35 PVC w/Min. Slope of 0.005 ft/ft  
Individual Unit Connections -> 4" SDR 35 PVC w/Min. under concrete slab at a Slope of 1/4" per foot and Min Cover of 5 ft  
B. Water Service Main Line -> 6" Class 52 Ductile Iron w/Tyton Joint  
Individual Unit Connections -> 3/4" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Curb Stop and 5/8" Meter  
Fire Service Connections -> 2" Type "K" Copper Tubing or Polyethylene Endopure PE-Class 200 piping w/Brass Hose Connection. Location to be verified with Dracut Fire Department prior to installation.  
C. Gas Connection -> 1" MDPE Gas Pipe  
D. Electric Connection -> 200 Amp Service within each unit

13. ORDER OF CONDITIONS: Construction on this site is subject to an Order of Conditions to be issued by the Dracut Conservation Commission and Massachusetts Department of Environmental Protection.

14. TRASH: The Trash Collection for the project will be collected from a Private Trash Service coordinated through the Property Maintenance company and be picked up outside each unit.

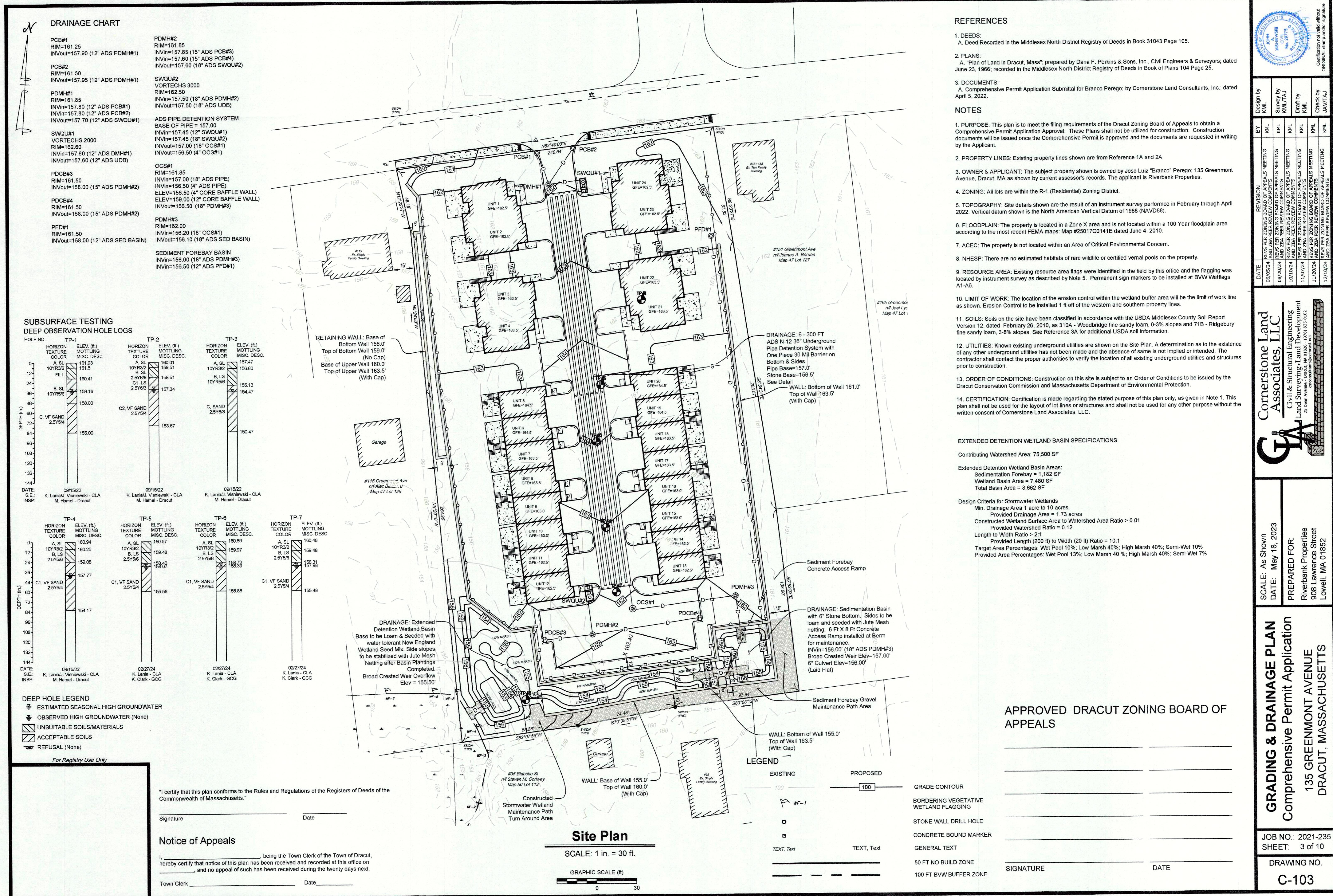
15. MAIL DELIVERY: The Project Team will work with the United States Postal Service Town of Dracut Post Master to determine the location of the Project Mailbox and delivery access.

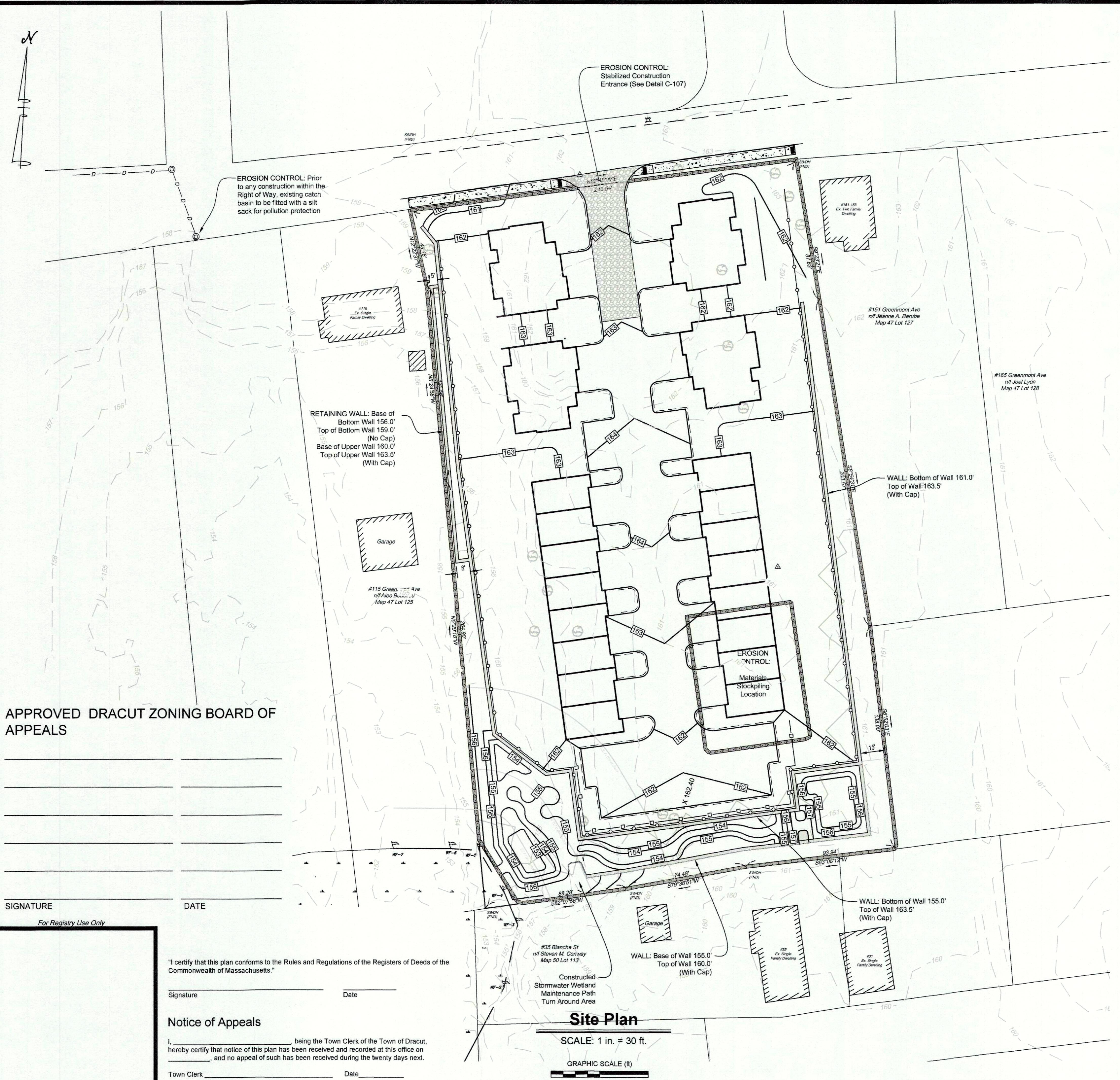
16. CERTIFICATION: Certification is made regarding the stated purpose of this plan only, as given in Note 1. This plan shall not be used for the layout of lot lines or structures and shall not be used for any other purpose without the written consent of Cornerstone Land Associates, LLC.



<b>LAYOUT &amp; UTILITIES PLAN</b>	
Comprehensive Permit Application	
135 GREENMONT AVENUE	
DRAZUT, MASSACHUSETTS	
SCALE: As Shown	DATE: May 18, 2023
PREPARED FOR:	Riverbank Properties
908 Lawrence Street	
Lowell, MA 01852	
JOB NO.: 2021-235	
SHEET: 2 of 10	
DRAWING NO.	
C-102	

REVISION	BY	Design by
03/01/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
04/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
04/05/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
04/20/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
05/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML
12/10/24	REVS PER ZONING BOARD OF APPEALS MEETING	KML





APPROVED DRACUT ZONING BOARD OF  
APPEALS

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SIGNATURE	DATE
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"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

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Signature	Date
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## Notice of Appeals

Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

## Site Plan

SCALE: 1 in. = 30 ft.

**GRAPHIC SCALE (ft)**

## LEGEND

#### EXISTING

#### PROPOSED

## ORDERING VEGETATIVE CUTTING AND FLAGGING

#### ONE WALL DRILL HOLE

## CONCRETE BOUND MARKER

## GENERAL TEXT

**FT NO BUILD ZONE**

10 FT BVW BUFFER ZONE

# EROSION CONTROL PLAN

## Comprehensive Permit Application

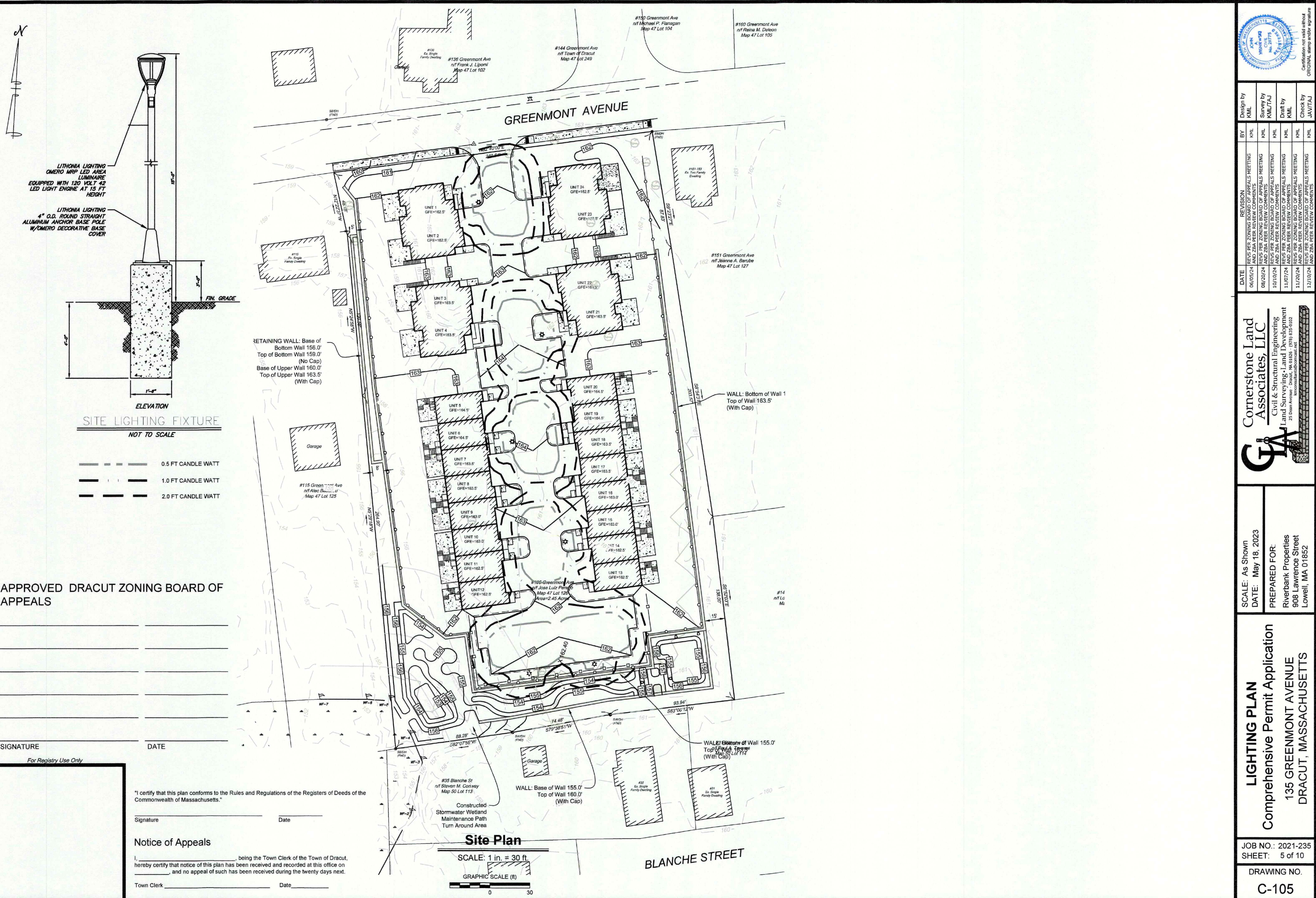
JOB NO.: 2021-235  
SHEET: 4 of 10

**DRAWING NO.**

C-104

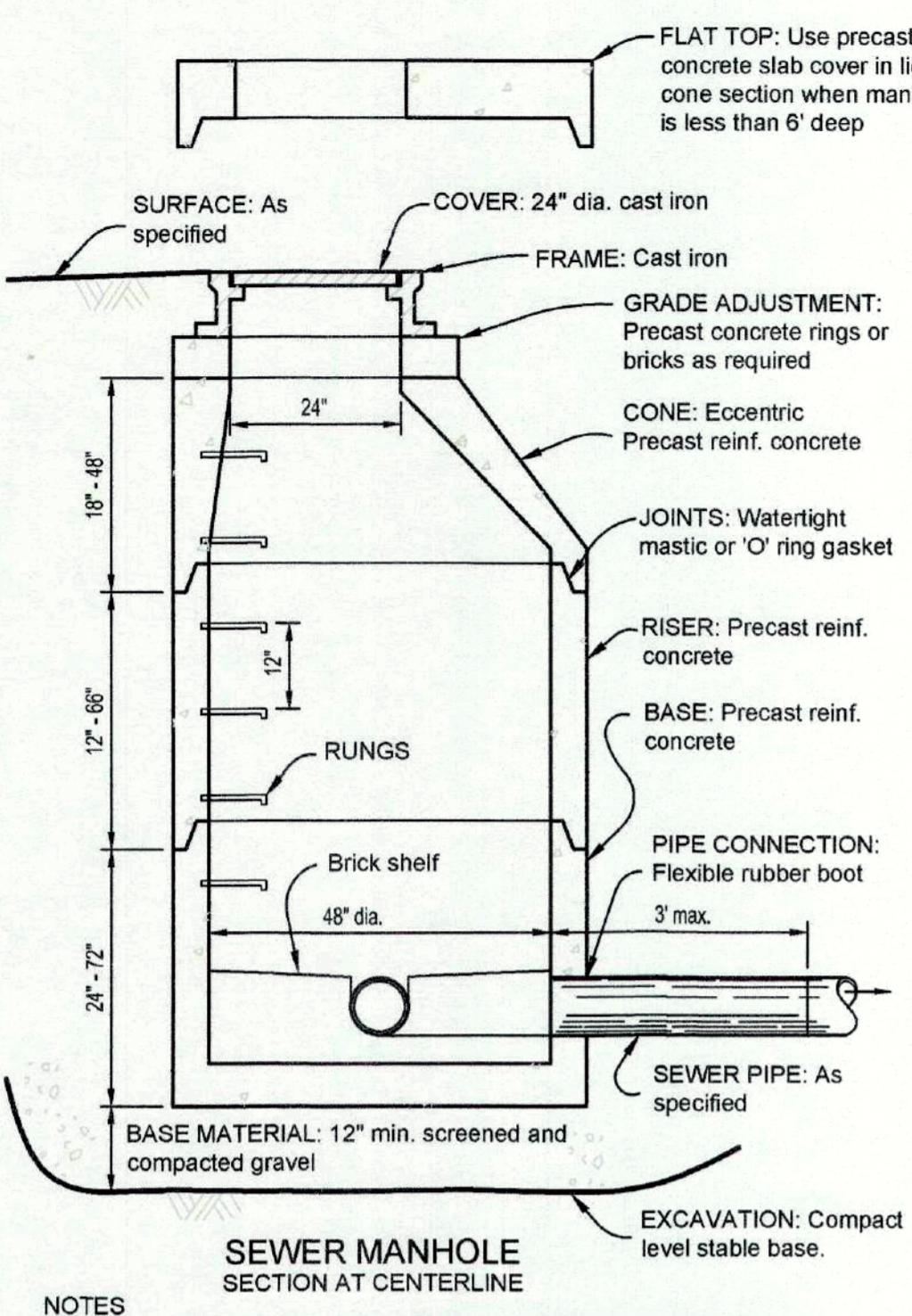


Certification not valid without  
ORIGINAL stamp and/or signature

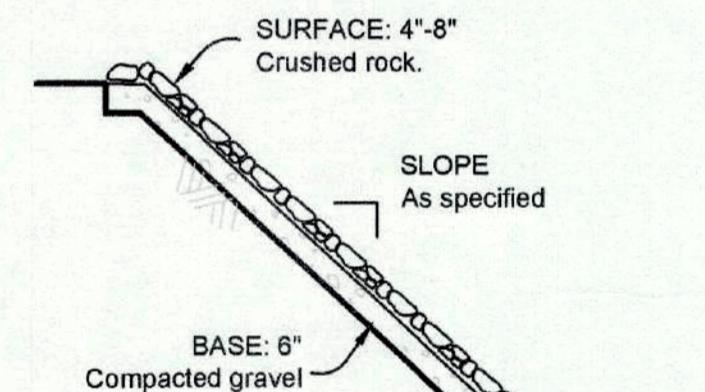




Certification not valid without stamp and/or signature



**SEWER MANHOLE SECTION AT CENTERLINE**  
NOTES  
1. All components and construction shall provide H-20 design loading per AASHTO HS-20-44 & ASTM C478.  
2. All components and construction shall comply with requirements of the Pepperell Sewer Dept.



**SLOPE PROTECTION**

**APPROVED DRACUT ZONING BOARD OF APPEALS**

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For Registry Use Only

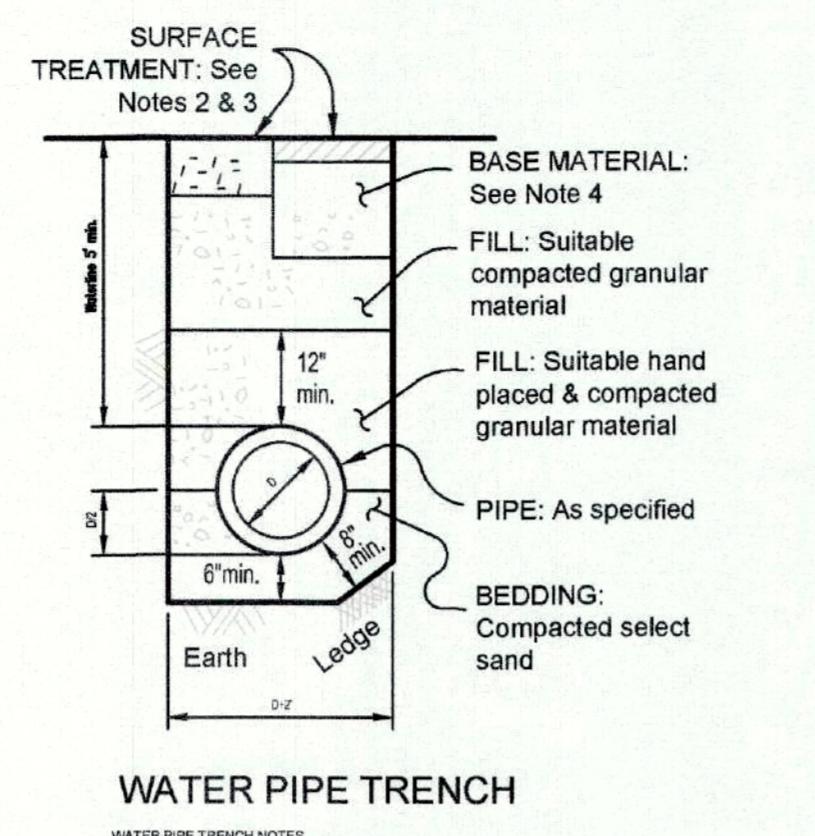
"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature \_\_\_\_\_ Date \_\_\_\_\_

**Notice of Appeals**

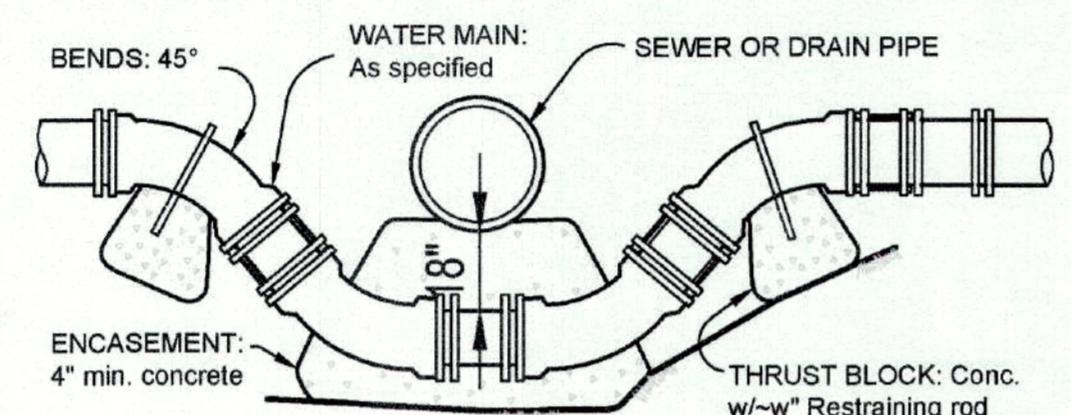
I, \_\_\_\_\_, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on \_\_\_\_\_, and no appeal of such has been received during the twenty days next.

Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

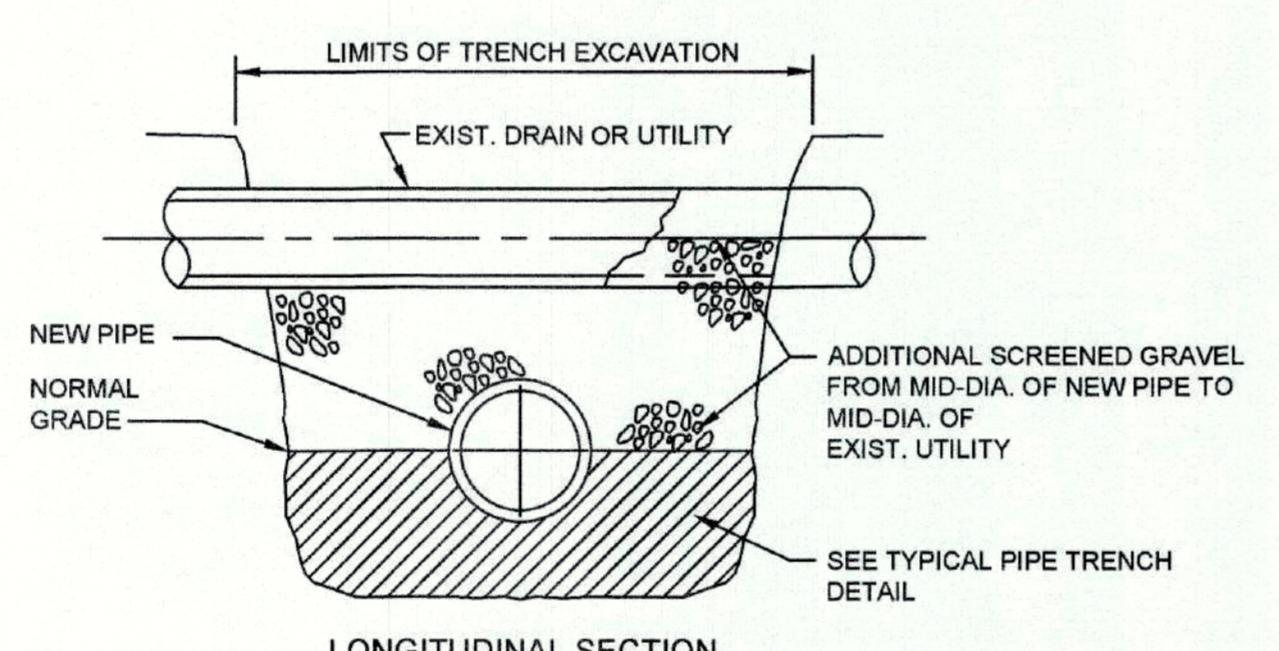


**WATER PIPE TRENCH**

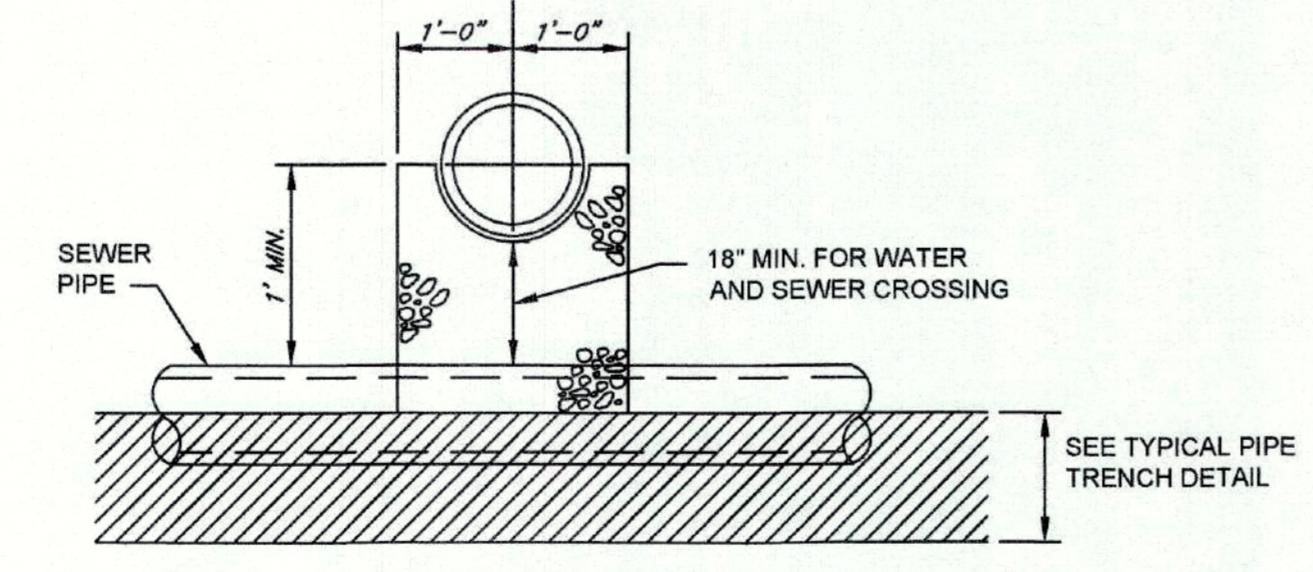
**WATER PIPE TRENCH NOTES**  
1. Materials and construction shall comply with the Pepperell Water Dept. specifications.  
2. Surface landscaping shall be 4" cam 4' wide.  
3. Surface landscaping shall be 4" cam 4' wide.  
4. Driveway base material shall be clean compacted gravel with no aggregate size over 3".



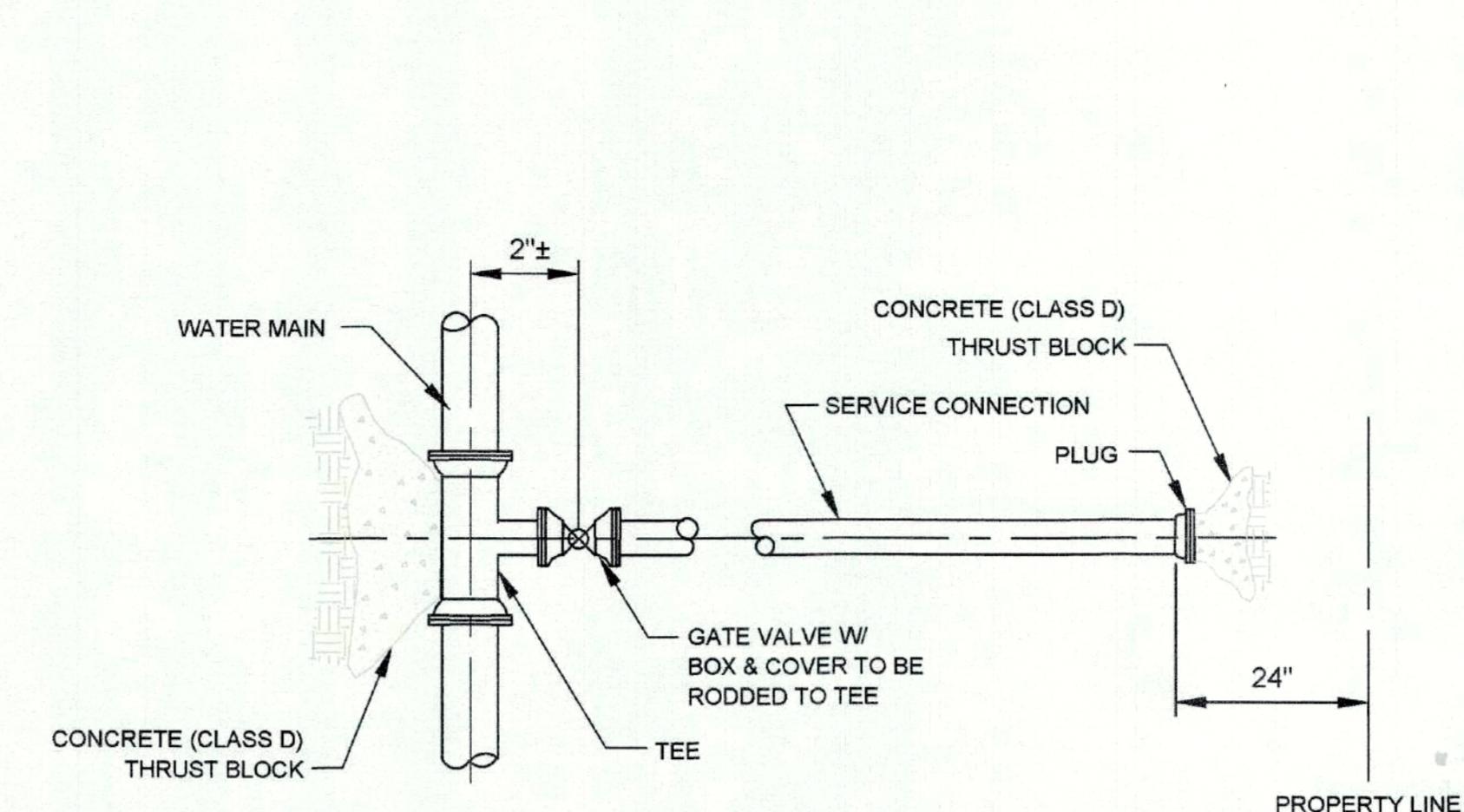
**WATERMAIN LOWERING**



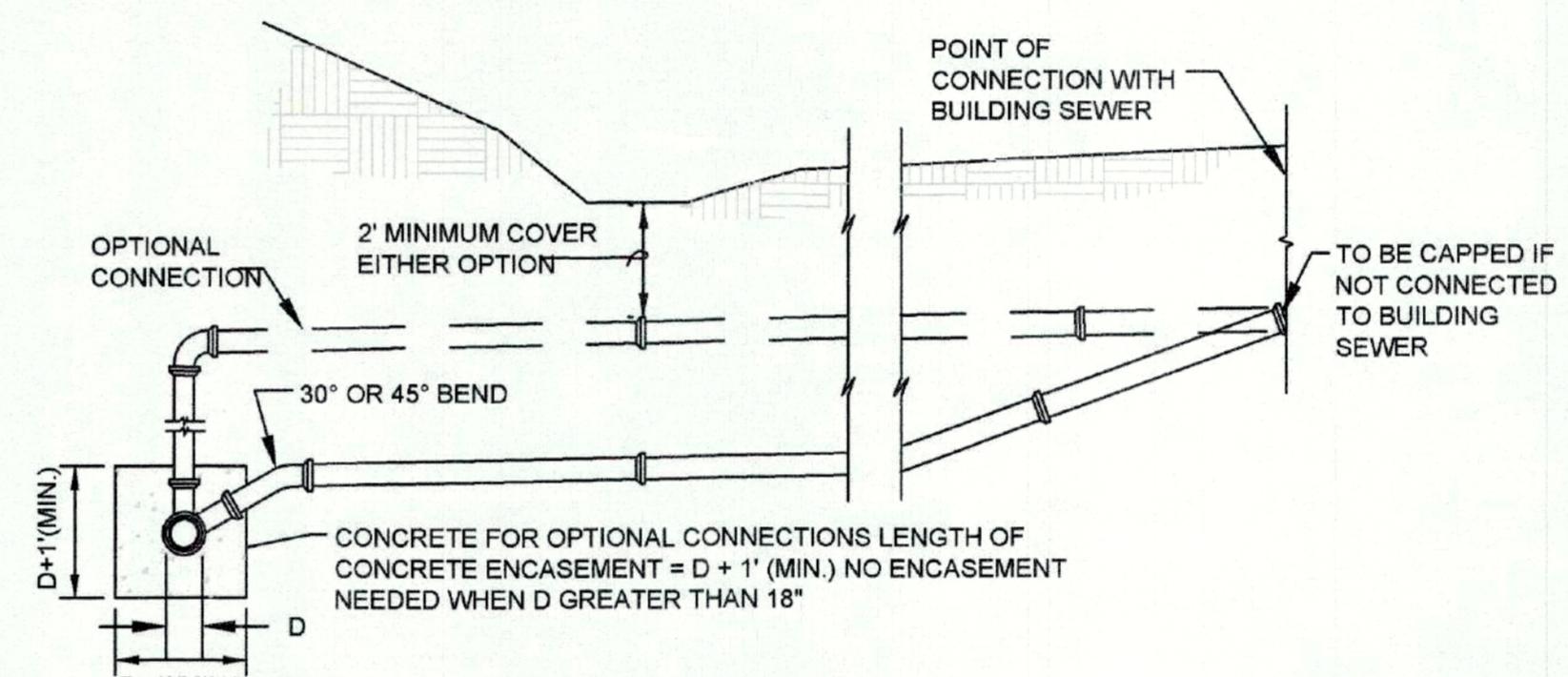
**LONGITUDINAL SECTION**



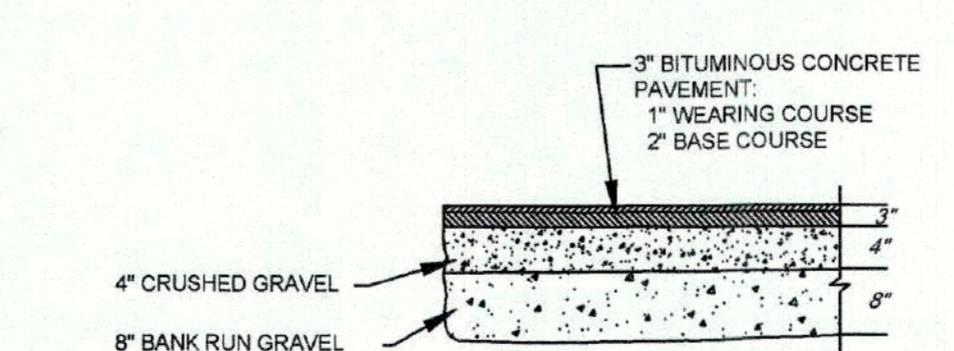
**TYPICAL PIPE CROSSING**



**SERVICE CONNECTION 4" AND OVER**



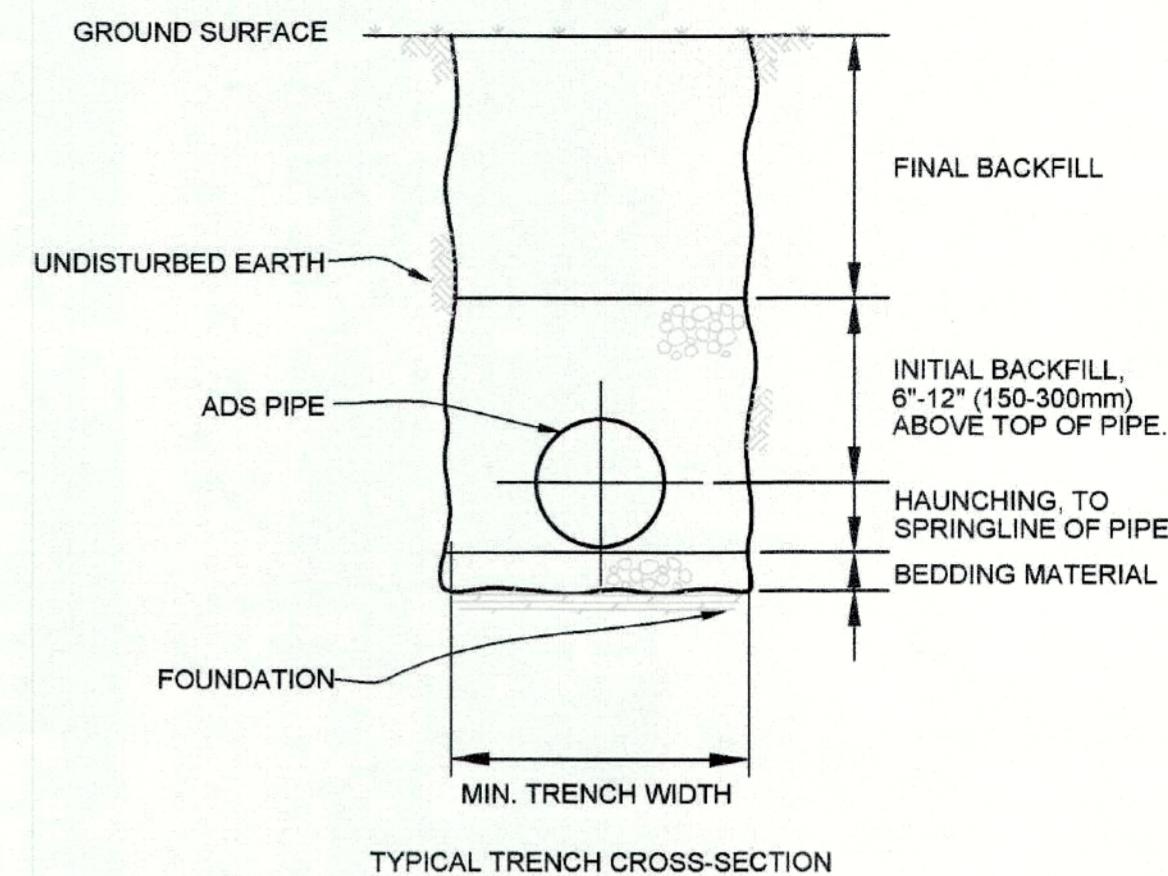
**STANDARD SANITARY/INDUSTRIAL WASTE SEWER BUILDING CONNECTIONS**



**DRIVeway PAVEMENT**

**Details**

Not To Scale



**NOTES:**

1. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABILE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REFACE WITH A FOUNDATION OF CLASS I OR II MATERIAL AS DEFINED IN ASTM D2321, "STANDARD PRACTICE FOR INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY-FLOW APPLICATIONS" LATEST EDITION; AS AN ALTERNATIVE AND AT THE DISCRETION OF THE ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A WOVEN GEOTEXTILE FABRIC.

2. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100-600mm) AND 42"-48" (1050-1200mm) CORRUGATED POLYETHYLENE PIPE (CPEP); 6" (150mm) FOR 30"-36" (750-900mm) CPEP.

3. HAUNCHING AND INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III AND INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

4. UNLESS OTHERWISE SPECIFIED BY THE ENGINEER, MINIMUM TRENCH WIDTHS SHALL BE AS FOLLOWS:

NOMINAL Ø in (mm)	MIN. RECOMMENDED TRENCH WIDTH, in (mm)
4 (100)	21 (530)
6 (150)	23 (580)
8 (200)	25 (630)
10 (250)	28 (710)
12 (300)	31 (790)
15 (375)	34 (860)
18 (450)	39 (990)
24 (600)	48 (1220)
30 (750)	55 (1350)
36 (900)	78 (1980)
42 (1050)	83 (2110)
48 (1200)	89 (2260)
60 (1500)	102 (2590)

5. MINIMUM COVER: MINIMUM RECOMMENDED DEPTHS OF COVER FOR VARIOUS LIVE LOADING CONDITIONS ARE SUMMARIZED IN THE FOLLOWING TABLE. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TAKEN FROM THE TOP OF PIPE TO THE GROUND SURFACE.

SURFACE LIVE LOADING CONDITION	MINIMUM RECOMMENDED COVER, in (mm)
H25 (FLEXIBLE PAVEMENT)	12 (300)
H25 (RIGID PAVEMENT)	12 (300)
E80 RAILWAY	24 (610)
HEAVY CONSTRUCTION	48 (1220)

\*TOP OF PIPE TO BOTTOM OF BITUMINOUS PAVEMENT SECTION

**TRENCH INSTALLATION**

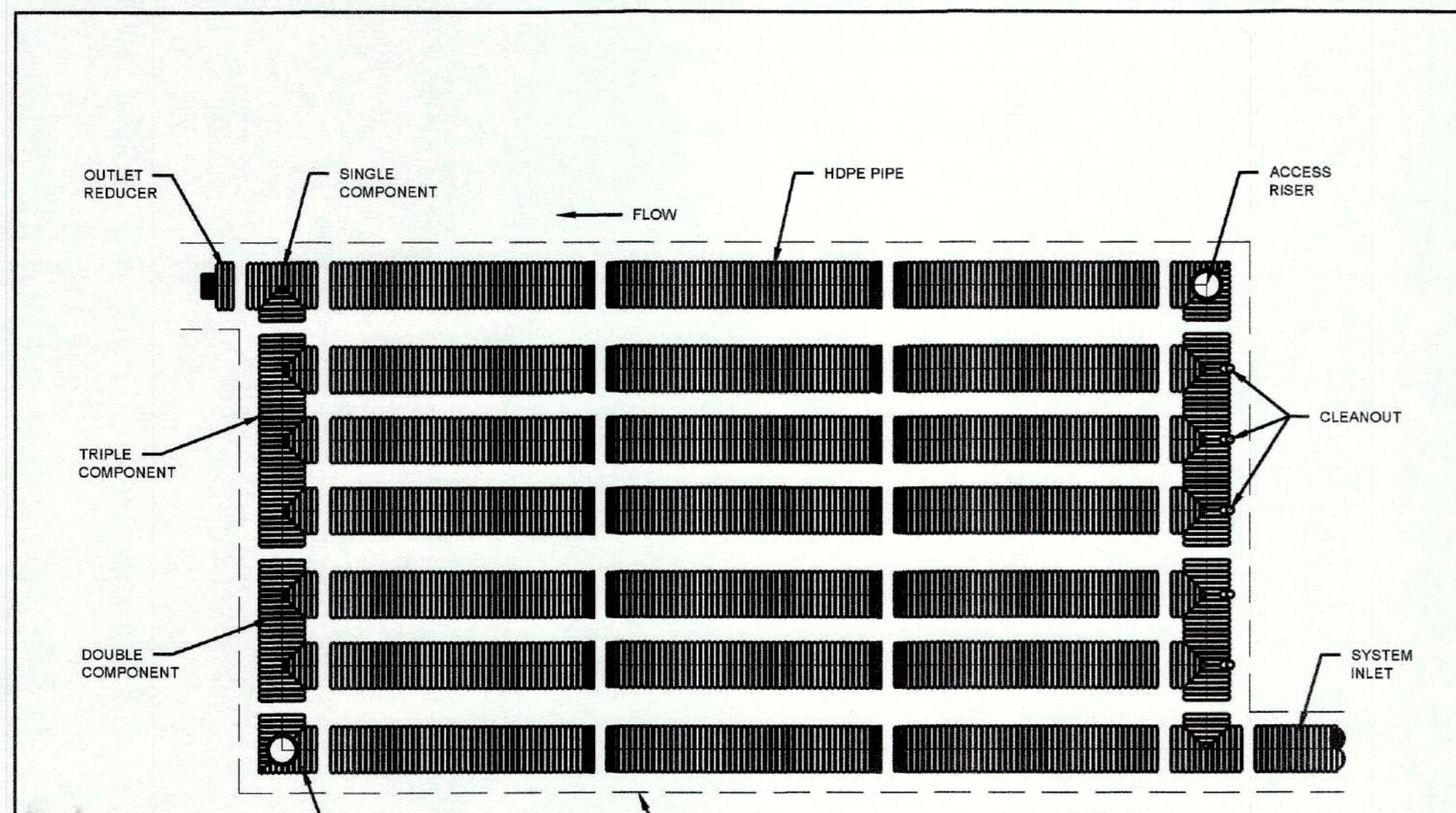
<b>DETAILS PLAN</b>	<b>Comprehensive Permit Application</b>
135 GREENMONT AVENUE	DRACUT, MASSACHUSETTS
JOB NO.: 2021-235	
SHEET: 6 of 10	
DRAWING NO.	C-106

**THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE-GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, SIZE, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS PRIOR TO AND/OR DURING CONSTRUCTION. AT LEAST 72 HOURS PRIOR TO EXCAVATING, MASSACHUSETTS DIG-SAFE SHOULD BE CONTACTED AT 1-800-322-4844.**



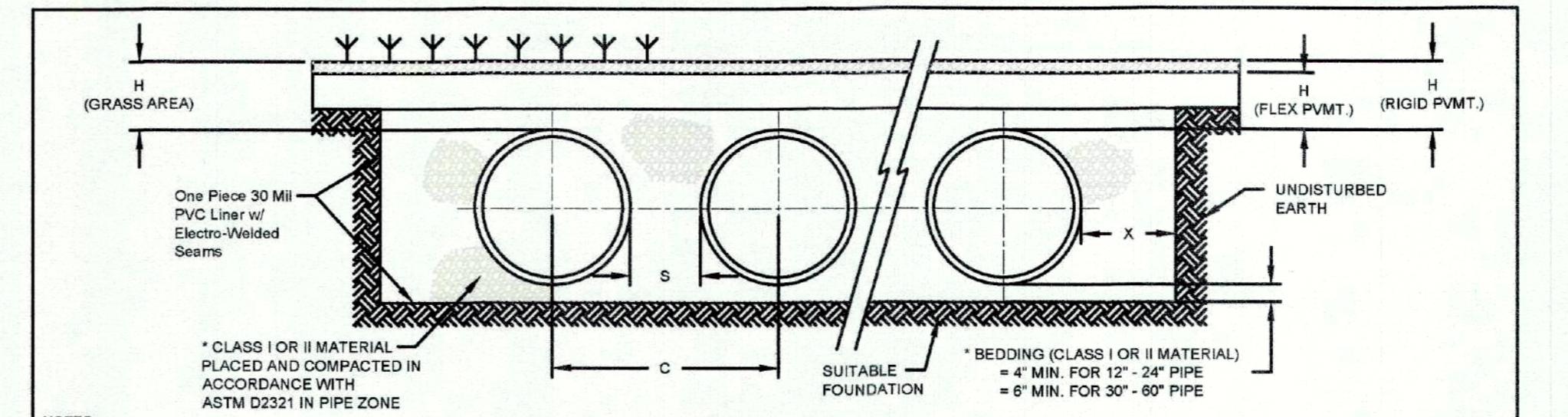


Certification not valid without original stamp and/or signature



NOTES:  
1. FOR INSTALLATION RECOMMENDATIONS, SEE 702 RETENTION-DETENTION SYSTEM (CROSS-SECTION) AND 703 RETENTION-DETENTION SYSTEM (RISER AND CLEANOUTS)

2	GENERAL UPDATES AND RENAMED	T/R	02/19/16	J
REV.	DESCRIPTION	BY	MM/DD/YY	CHCD
RETENTION-DETENTION SYSTEMS (PLAN VIEW)				
4640 TRUMAN BLVD HILLiard, OHIO 43026 ADVANCED DRaGAGE SYSTEMS, INC.				
DRAWING NUMBER: STD-701				



NOTES:  
1. ALL REFERENCES TO CLASS I OR II MATERIAL ARE PER ASTM D2321 "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.  
2. ALL RETENTION AND DETENTION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, LATEST EDITION AND THE MANUFACTURER'S PUBLISHED INSTALLATION GUIDELINES.  
3. MEASURES SHOULD BE TAKEN TO PREVENT THE MIGRATION OF NATIVE FINES INTO THE BACKFILL MATERIAL, WHEN REQUIRED, SEE ASTM D2321.

4. FILTER FABRIC: A GEOTEXTILE FABRIC MAY BE USED AS SPECIFIED BY THE ENGINEER TO PREVENT THE MIGRATION OF FINES FROM THE NATIVE SOIL INTO THE SELECT BACKFILL MATERIAL.

5. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE THE TRENCH BOTTOM TO A STABILIZED LEVEL AS SPECIFIED BY THE DESIGN ENGINEER AS SHOWN BY THE ENGINEERS AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.

6. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I OR II. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR 4"-24" (100mm-600mm); 6" (150mm) FOR 30"-60" (750mm-1500mm).

7. INTAKE BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I OR II IN THE PIPE ZONE EXTENDING TO THE LEAD-IN AND DROPOFF ZONE OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.

8. MINIMUM COVER: MINIMUM COVER OVER ALL RETENTION/DETENTION SYSTEMS IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER IS 12" TO 36" UP TO 36" DIAMETER PIPE AND 18" OF COVER FOR 4"-24" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

\* CLASS I BACKFILL REQUIRED AROUND 30" DIAMETER FITTINGS.

9. GENERAL UPDATES AND RENAMED

4 GENERAL UPDATES AND RENAMED

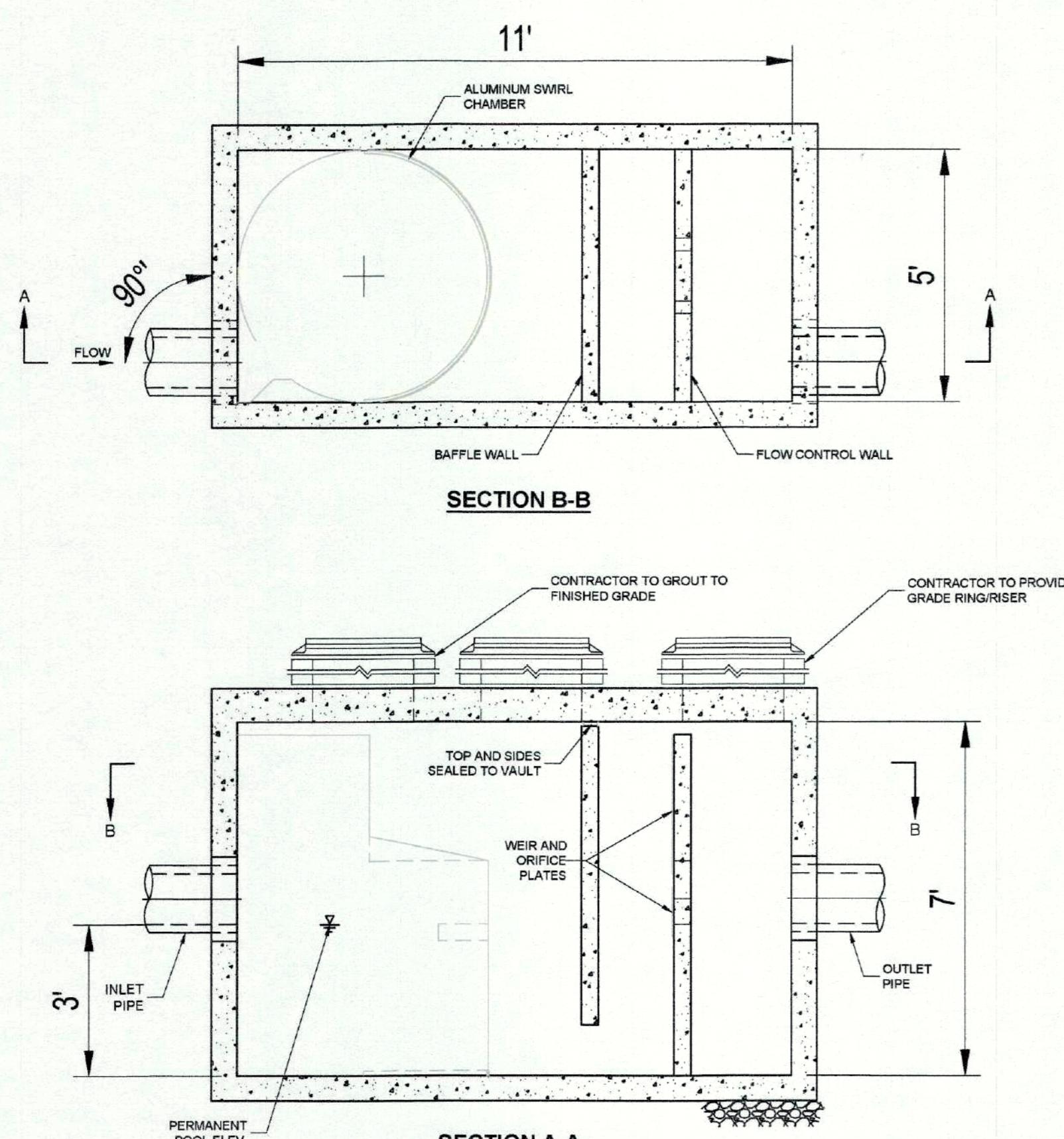
REV. DESCRIPTION BY MM/DD/YY CHCD

RETENTION-DETENTION SYSTEMS (CROSS-SECTION)

4640 TRUMAN BLVD  
HILLiard, OHIO 43026  
ADVANCED DRaGAGE SYSTEMS, INC.

DRAWING NUMBER: STD-702

NOMINAL DIAMETER	NOMINAL O.D.	TYPICAL S.P.	NOMINAL SPACING "C"	TYPICAL SIDE WALL "X"	H (NON-TRAFFIC)	H (TRAFFIC)
12"	14.5"	11"	25.5"	8"	12"	12"
15"	18"	11.5"	29.0"	8"	12"	12"
18"	21"	17.0"	38.0"	9"	12"	12"
24"	28"	14.0"	41.5"	10"	12"	12"
30"	36"	18"	53.0"	18"	12"	12"
36"	42"	22"	63.0"	18"	12"	12"
42"	48"	24"	72.0"	18"	12"	24"
48"	54"	26"	78.5"	18"	12"	24"
60"	67"	24"	90"	18"	12"	24"



For Registry Use Only

VORTECHS MODEL 3000

"I certify that this plan conforms to the Rules and Regulations of the Registers of Deeds of the Commonwealth of Massachusetts."

Signature \_\_\_\_\_ Date \_\_\_\_\_

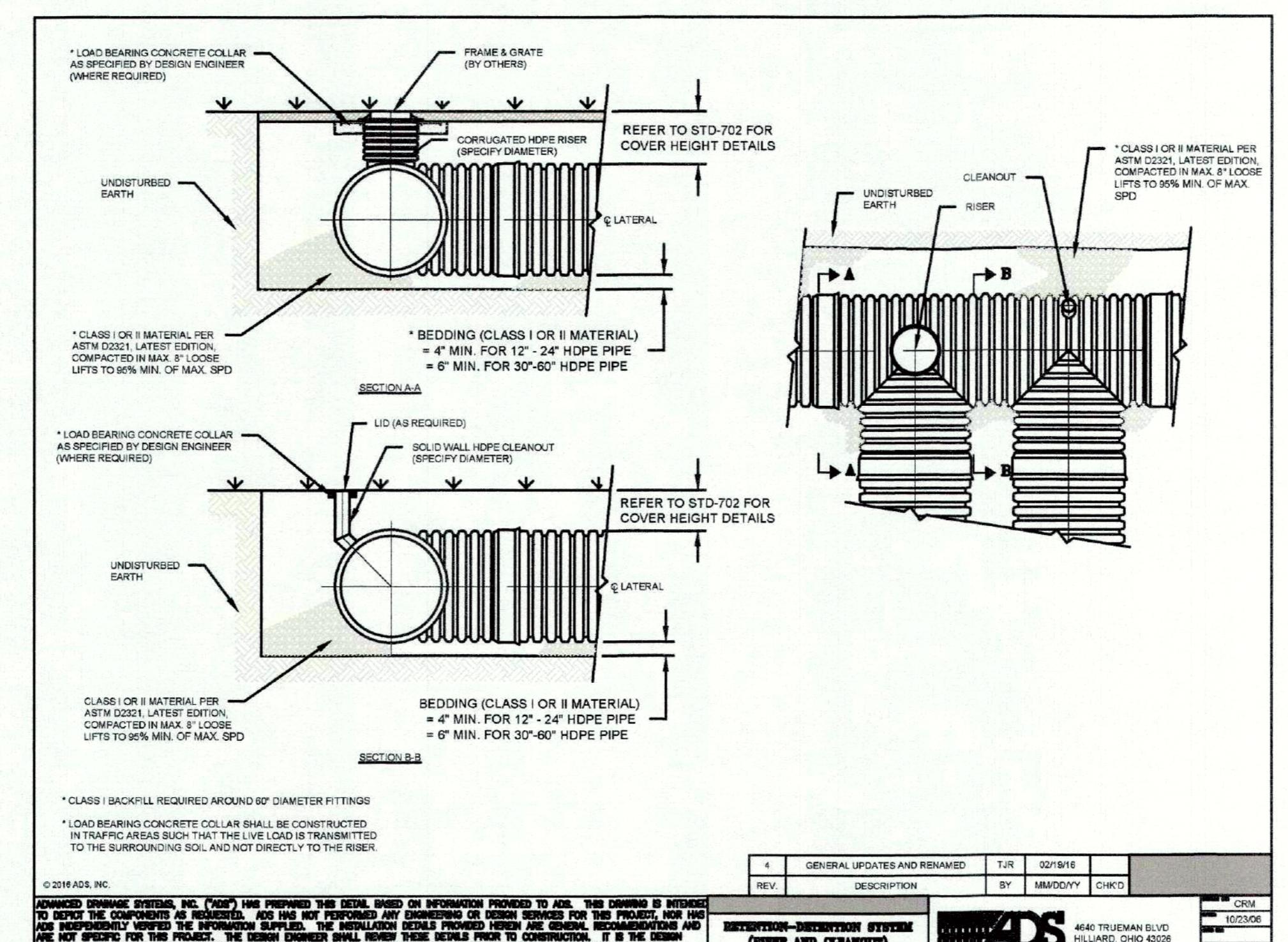
#### Notice of Appeals

I, \_\_\_\_\_, being the Town Clerk of the Town of Dracut, hereby certify that notice of this plan has been received and recorded at this office on \_\_\_\_\_, and no appeal of such has been received during the twenty days next.

Town Clerk \_\_\_\_\_ Date \_\_\_\_\_

#### Details

Not To Scale



GENERAL UPDATES AND RENAMED

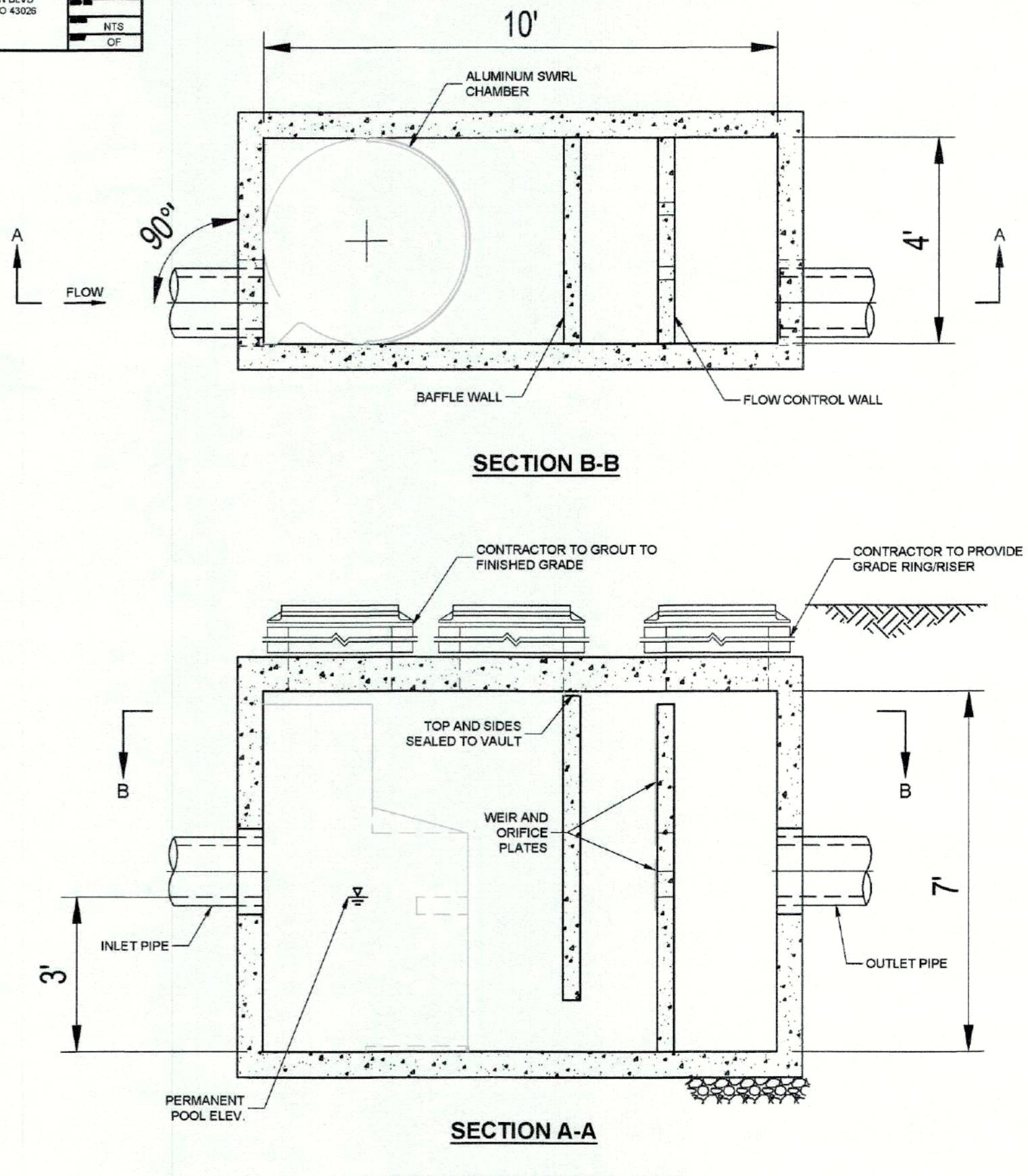
4 GENERAL UPDATES AND RENAMED

REV. DESCRIPTION BY MM/DD/YY CHCD

RETENTION-DETENTION SYSTEMS (RISER AND CLEANOUTS)

4640 TRUMAN BLVD  
HILLiard, OHIO 43026  
ADVANCED DRaGAGE SYSTEMS, INC.

DRAWING NUMBER: STD-703



VORTECHS MODEL 2000

APPROVED DRACUT ZONING BOARD OF APPEALS

#### DETAILS PLAN

#### Comprehensive Permit Application

135 GREENMONT AVENUE

DRACUT, MASSACHUSETTS

JOB NO.: 2021-235

SHEET: 9 of 10

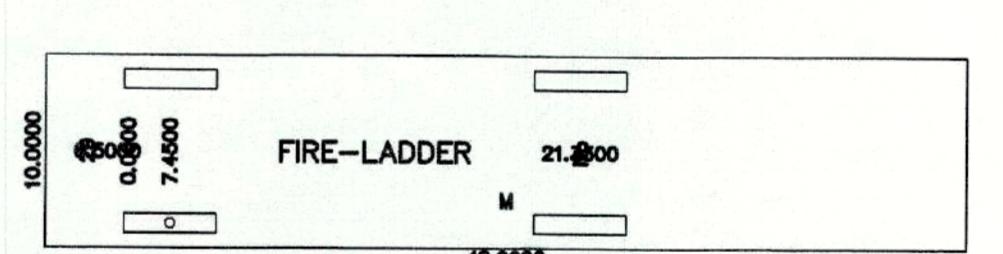
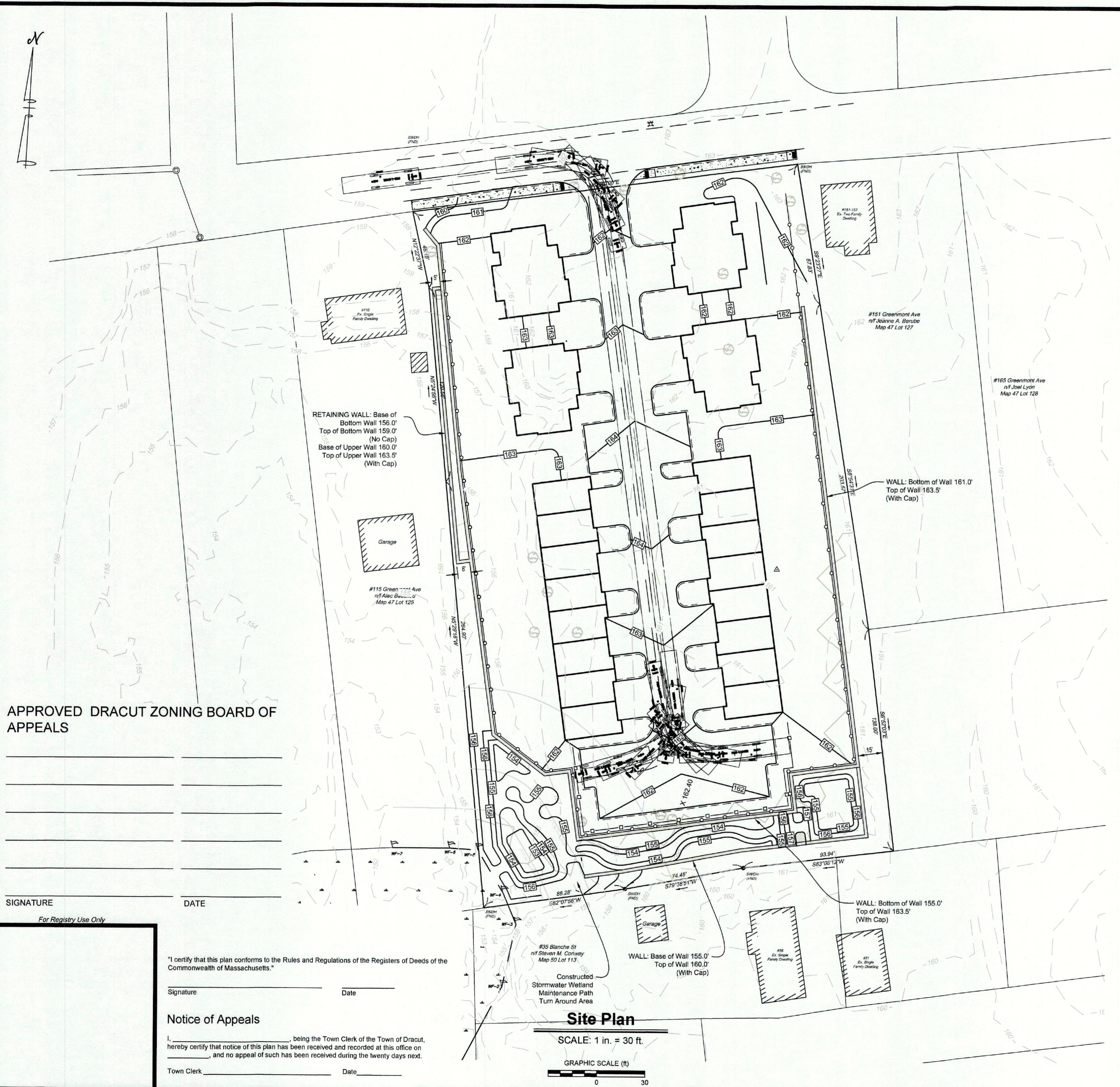
DRAWING NO.

C-109

REVISION	BY	DESIGN BY
04/05/24	REV. PER ZONING BOARD OF APPEALS MEETING	KML
04/20/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
10/10/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
11/01/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
11/20/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
12/10/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
12/20/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML
12/30/24	REVS. PER ZONING BOARD OF APPEALS MEETING	KML

Land Surveyor - Dracut, MA 01825 - 978-835-1012  
McDonald Associates, Inc.

Cornerstone Land  
Associates, LLC  
Civil & Structural Engineering  
Land Avenue - Dracut, MA 01825 - 978-835-1012  
Cornerstoneassociates.net



LADDER APPARATUS DIMENSIONS  
Length=48'  
Width=10'  
Height=12'  
Wheelbase =21'-4"  
S.A.E Turn Radius=49'-9"  
Wheelbase width=8'-2"  
Ground Clearance=11"

#### LEGEND

EXISTING	PROPOSED
100	100
WF-1	GRADE CONTOUR
WETLAND FLAGGING	BORDERING VEGETATIVE
STONE WALL DRILL HOLE	STONE WALL DRILL HOLE
CONCRETE BOUND MARKER	CONCRETE BOUND MARKER
GENERAL TEXT	GENERAL TEXT
TEXT, Text	TEXT, Text
50 FT NO BUILD ZONE	100 FT BWB BUFFER ZONE
100 FT BWB BUFFER ZONE	

REVISION BY	Design by KML
06/05/24 REVS PER ZONING BOARD OF APPEALS MEETING KML	Survey by KML/TAJ
08/20/24 AND ZBA PEER REVIEW COMMENTS KML	Draft by KML
REVS PER ZONING BOARD OF APPEALS MEETING KML	Check by JAV/TAJ
10/10/24 AND ZBA PEER REVIEW COMMENTS KML	
REVS PER ZONING BOARD OF APPEALS MEETING KML	
11/07/24 AND ZBA PEER REVIEW COMMENTS KML	
REVS PER ZONING BOARD OF APPEALS MEETING KML	
11/20/24 AND ZBA PEER REVIEW COMMENTS KML	
12/07/24 AND ZBA PEER REVIEW COMMENTS KML	

**Cornerstone Land Associates, LLC**  
Civil & Structural Engineering  
Land Surveying-Land Development  
22 Dean Avenue - Dracut, MA 01825 - (978) 845-0102  
www.cornerstonelandassociates.com

**EMERGENCY ACCESS PLAN**  
Comprehensive Permit Application  
135 GREENMONT AVENUE  
DRACUT, MASSACHUSETTS  
JOB NO.: 2021-235  
SHEET: 10 of 10  
DRAWING NO.  
C-110

ORIGINAL stamp not valid without  
original stamp and/or signature