

USGS MAP

SCALE: 1" = 1,000'

BRIDGE STREET LANDING

PROPOSED COMMERCIAL REDEVELOPMENT

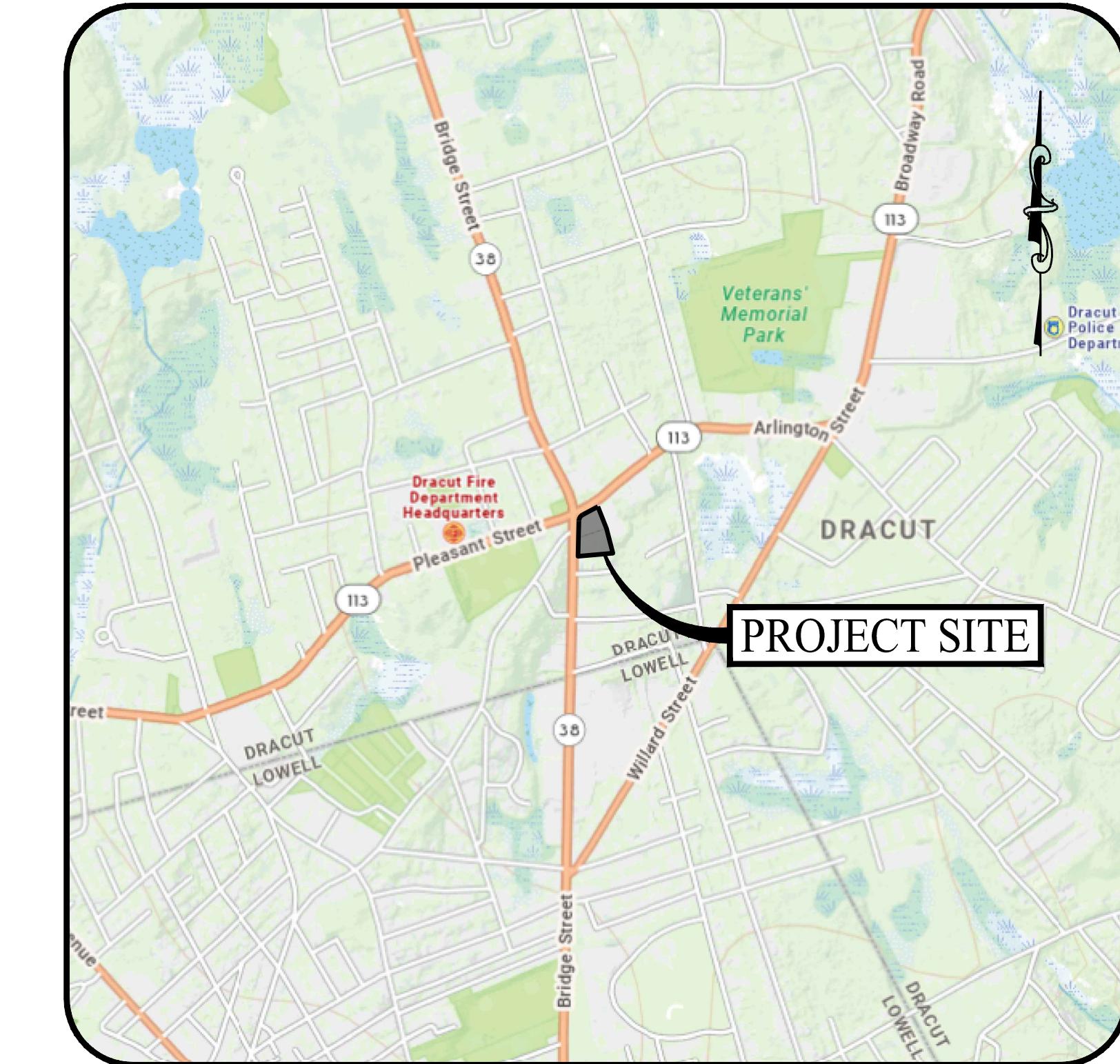
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS 01826

PERMITTING PLAN SET

PREPARED FOR:

**TWIN COAST
PROPERTIES, LLC**

59 STILES ROAD SUITE 201
SALEM, NEW HAMPSHIRE 03079



LOCATION MAP

SCALE: 1" = 1,000'

OWNER

CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
59 STILES ROAD, SUITE 201
SALEM, NEW HAMPSHIRE 03079
(603) 296-4930

SITE / CIVIL ENGINEER

KEVIN SOLLI, P.E., PTOE, CPESC, LEED AP BD+C
(ENGINEER OF RECORD)
LICENSE NO. 51952
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

APPLICANT

CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
59 STILES ROAD, SUITE 201
SALEM, NEW HAMPSHIRE 03079
(603) 296-4930

LANDSCAPE DESIGNER

MARY BLAKBURN, PLA, CANP
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

PROPERTY INFORMATION

ADDRESS: 5 ARLINGTON ST
TOWN OF DRACUT
MASSACHUSETTS 01826
PARCEL ID: 50-0-224
OWNER: CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
DEED: BK 10084 PG 2

SURVEYOR OF RECORD

BRIAN C. FRANETOVICH, MA PLS
LICENSURE NO. 54255
NORTHEAST SURVEY CONSULTANTS
3 FERRY STREET STUDIO I EAST
EAST HAMPTON, MASSACHUSETTS 01027
(413) 203-5144

ARCHITECT

KEN BROWN
DESIGN + INC.
1490 Bardstown Road, Suite 200
Louisville, Kentucky 402040
(502) 454-5011

PREPARED BY:



MONROE, CT | WEST HARTFORD, CT | NORWOOD, MA

DRAWING LIST

CIVIL PLANS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	12/09/24	04/02/25
1 of 1	EXISTING CONDITIONS	05/31/23	N/A
1 of 1	APPROVAL NOT REQUIRED	04/12/23	N/A
2.10	OVERALL SITE AREA MAP	12/09/24	N/A
2.11	SITE LAYOUT PLAN	12/09/24	03/27/25
2.21	GRADING & DRAINAGE PLAN	12/09/24	04/02/25
2.22	STORMWATER BASIN PROFILE	03/05/25	04/02/25
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	12/09/24	N/A
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	12/09/24	N/A
2.51	SITE UTILITY PLAN	12/09/24	N/A
2.61	LANDSCAPE PLAN	12/09/24	N/A
2.71	LIGHTING PLAN	12/09/24	N/A
3.01	CONSTRUCTION DETAILS	12/09/24	N/A
3.02	CONSTRUCTION DETAILS	12/09/24	03/27/25
3.03	CONSTRUCTION DETAILS	12/09/24	N/A
3.04	CONSTRUCTION DETAILS	12/09/24	03/05/25
3.05	CONSTRUCTION DETAILS	12/09/24	N/A

DRACUT PLANNING BOARD		
3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description

DRACUT PLANNING BOARD		
3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description
Project: BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS		
Sheet Title:	Sheet #:	
COVER SHEET	0.00	
I, JAYNE BOISSENAULT, CLERK OF THE TOWN OF DRACUT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE DRACUT PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.		
DATE: _____ TOWN CLERK: _____		

PLANNING BOARD
DRACUT, MASSACHUSETTS

APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED

DATE: _____

RESERVED FOR REGISTRY USE ONLY

THE BOARD'S ENDORSEMENT OF THE
PLAN AS NOT REQUIRING APPROVAL
UNDER THE SUBDIVISION CONTROL LAW
DOES NOT GIVE LOTS OR PARCELS ANY
STANDING UNDER THE TOWN OF DRACUT
ZONING BYLAW.

PAVED
ROAD

ARLINGTON STREET - ROUTE 113
PUBLIC - 1924 COUNTY LAYOUT & 1978 COUNTY ALTERATION
R.O.W. WIDTH 50' PAVEMENT WIDTH 33'-38'

PAVED
ROAD

OHW



GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT, MASSACHUSETTS.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET," DATED JANUARY 26, 2023, SCALE: 1"-15'; PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND); THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS.
- 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED FROM THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
- 3.3. BACKGROUND AERIAL MAPPING DOWNLOADED FROM GOOGLE EARTH PRO.
4. THE PROPOSED PROJECTS ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

SIGHT DISTANCE NOTES

1. INTERSECTION SIGHT DISTANCE MEASURED 15 FEET FROM THE SHOULDER LINE.
2. INTERSECTION SIGHT DISTANCE FOR ARLINGTON STREET (ROUTE 113) BASED ON DESIGN SPEED OF 30 MPH (POSTED SPEED LIMIT OF 25 MPH PLUS 5).
3. INTERSECTION SIGHT DISTANCE LOOKING LEFT FROM SITE DRIVEWAY ONTO ARLINGTON STREET (ROUTE 113) EXTENDS THROUGH THE INTERSECTION OF ARLINGTON STREET AND BRIDGE STREET (ROUTE 38). IT IS ANTICIPATED THAT TURNING VEHICLES WILL BE TRAVELING LESS THAN 30 MPH AND ADEQUATE SIGHT DISTANCE WILL BE PROVIDED TO THE INTERSECTION.

CERTIFIED ABUTTERS LIST

1. 457 AIKEN AVENUE	RAHIMIAN DAVID
2. 461 AIKEN AVENUE	DESOULZA MARCELO CEZARIO
3. 465 AIKEN AVENUE	ENO KAREN W.
4. 466 AIKEN AVENUE	BELANGER RICHARD (JTRS)
5. 471 AIKEN AVENUE	NIEMASZKÝ SANDRA J., TRUSTEE
6. 482 AIKEN AVENUE	JOHN A. VITALE
7. 33 ARLINGTON AVENUE	CAMPBELL, SHAYNA M.
8. 5 ARLINGTON STREET	TWIN COAST PROPERTIES LLC
9. 10 ARLINGTON STREET	CHRIST CHURCH UNITED
10. 17 ARLINGTON STREET	AYOTTE LLC
11. 21 ARLINGTON STREET	AYOTTE LLC
12. 22 ARLINGTON STREET	FIRST PARISH DRACUT
13. 23 ARLINGTON STREET	AYOTTE LLC
14. 25 ARLINGTON STREET	AYOTTE LLC
15. 28 ARLINGTON STREET	MOSES GREELEY PARKER LIBRARY
16. 39 ARLINGTON STREET	ISAAC PROPERTY INVESTMENTS LLC
17. 1305 BRIDGE STREET	DAVIS TIMOTHY B. & AMBER J., TRUSTEES
18. 1310 BRIDGE STREET	DAVIS FAMILY TRUST
19. 1315 BRIDGE STREET	PAPANOTAS FAMILY, LLC
20. 1346 BRIDGE STREET	BELMORO BRIAN C.
21. 1352 BRIDGE STREET	THE INHABITANTS OF THE TOWN OF DRACUT
22. 1362 BRIDGE STREET	MIRELLA VLAIA M.
23. 1366 BRIDGE STREET	PAUL R. VACHON, JR
24. 15 DELBERT STREET	ESPINOZA SERGIO D. (TE)
25. 11 ELISE AVENUE	NIEMASZKÝ KATHLEEN A
26. 12 ELISE AVENUE	DEVÉAU STEPHEN M. (JT)
27. 16 ELISE AVENUE	FARREN JOHN P. (TE)
28. 17 ELISE AVENUE	HANNIGAN, BRIAN (TE)
29. 18 ELISE AVENUE	SODA, JEFFREY A.
30. 29 ELISE AVENUE	HANNIGAN, BRIAN J. (TE)
31. 23 GRIGGS STREET	FALEY, ROBERT M. (TE)
32. 27 GRIGGS STREET	JONATHAN PALMER
33. 31 GRIGGS STREET	FALCON, JUAN J. (TE)
34. 531 PLEASANT STREET	AYOTTE LLC
35. 538 PLEASANT STREET	NOLAN, JACLYN

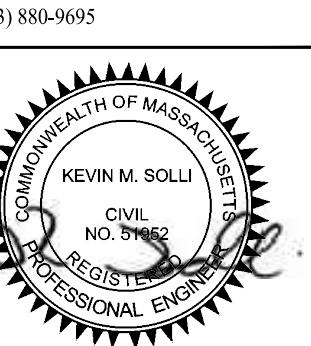
JENNIFER A. ELLIOTT
DEBORAH MEADOWS
CENTRE POINT REALTY TRUST
VALADE, MATTHEW H

SONIA M. MARIN QUINTERO
KATHRYN KINNEY
DARLENE M. FARREN
HANNIGAN, ALLISON
SCARMINI, MARGARET
ALLISON J HANNIGAN
CARMEL A. FARLEY (LE)
MARIE C FALCON

Rev. #:	Date	Description
Graphic Scale:		
40	0	40
80		

SOLLI
ENGINEERING
MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLINEERING.COM
T: (203) 880-5455 | F: (203) 880-6995

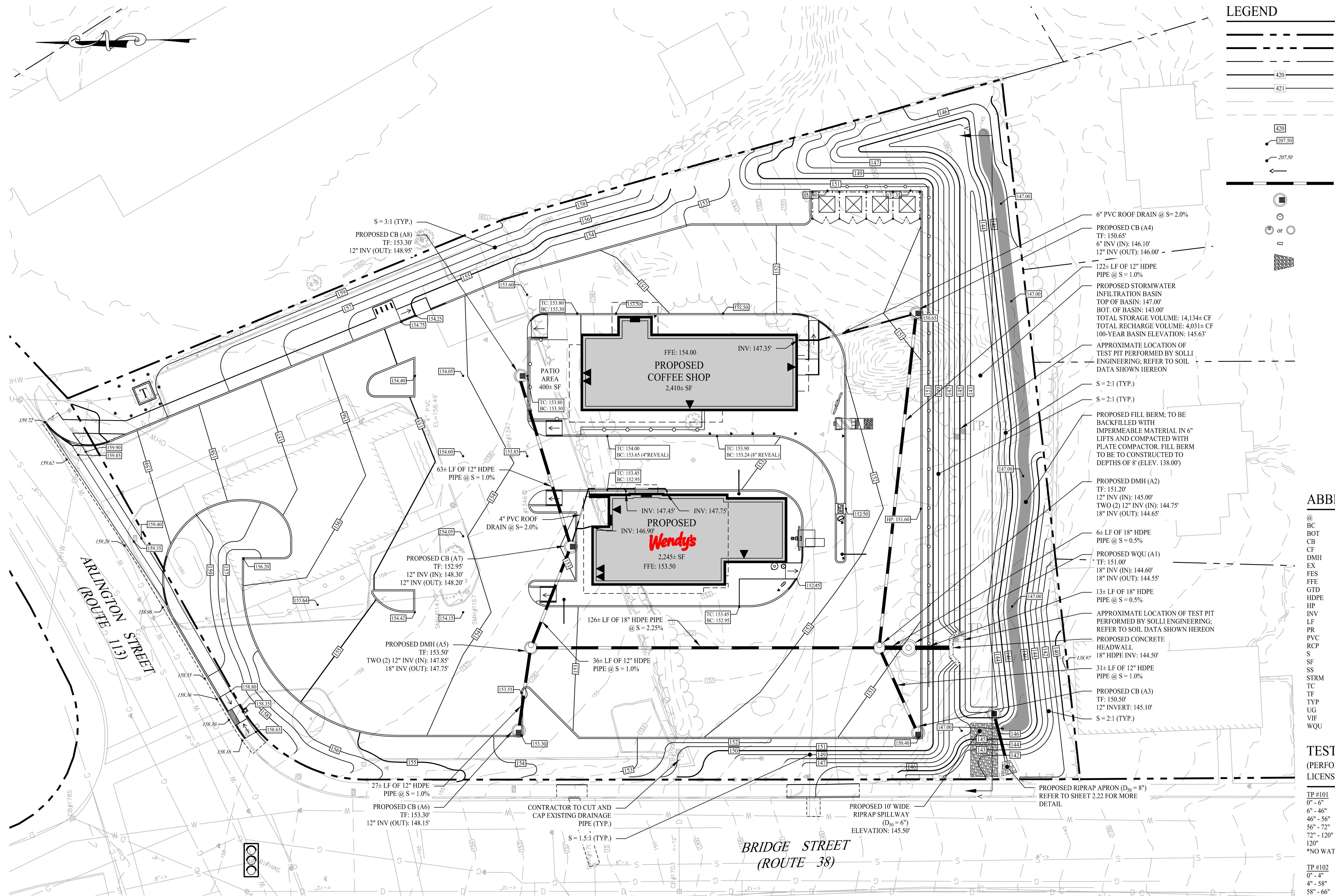
Drawn By:	STM
Checked By:	CJB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24
Scale:	1" = 40'



DRACUT PLANNING BOARD	
BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS	

Sheet Title:	OVERALL SITE AREA MAP
Sheet #:	2.10

DRACUT PLANNING BOARD
BRIDGE STREET
LANDING
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE
PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



LEGEND

PROPERTY LINE	
RIGHT-OF-WAY LINE	
ADJOINING LOT LINE	
MAJOR CONTOURS	
MINOR CONTOURS	
EXISTING MAJOR CONTOURS	
EXISTING MINOR CONTOURS	
CONTOUR LABEL	
PR SPOT ELEVATION	
EXISTING SPOT ELEVATION	
GRADE TO DRAIN	
STORM DRAIN PIPE	
PRECAST CATCH BASIN (4-FOOT SUMP)	
STORM MANHOLE	
WATER QUALITY UNIT	
FLARE END SECTION	
RIP RAP	

GENERAL NOTES

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2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT FOR THIS PROJECT.
3. EXISTING CONDITIONS ARE NOT BEING SHOWN. INFORMATION TAKEN ON A PLAN TITLED "PLAN OF LAND IN DRACUT, MA 5 ARLINGTON STREET, 5 BRIDGE STREET" DATED JANUARY 26, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
- 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POSSESS AND MAINTAIN ALL THE NECESSARY PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES, PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCE AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.
6. ALL DISTURBANCE TO TOWN OWNED, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PRE-CONSTRUCTION CONDITION OR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.
11. ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS.

ABBREVIATIONS

@	AT
BC	BOTTOM
BOT	BOTTOM
CB	CATCH BASIN
CF	CUBIC FEET
DMH	DRAINAGE MANHOLE
EX	EXISTING
FES	FINISHED END SECTION
FFE	FINISHED FLOOR ELEVATION
GTD	GATE TO DRAIN
HDPE	HIGH DENSITY POLYETHYLENE
H	HIGH POINT
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SF	SQUARE FOOT
SS	SOIL STRUCTURE
STRM	STORM
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPE
UGS	UNDERGROUND SYSTEM
VIF	VERIFY IN FIELD
WQU	WATER QUALITY UNIT

TEST PIT

(PERFORMED BY CASEY BURCH MASSDEP CERTIFIED SOIL EVALUATOR
LICENSE NO. 14409 WITH SOLLI ENGINEERING IN OCTOBER 2023)

TP #101
0"-6"
6"-46"
46"-56"
56"-72"
72"-120"
120"-
*NO WATER, NO REDOX, NO LEDGE, ROOTS OBSERVED FROM 0"-6" AND FROM 46"-72"

TP #102
0"-4"
4"-58"
58"-66"
66"-77"
77"-144"
144"-
*NO WATER, NO REDOX, NO LEDGE, ROOTS OBSERVED FROM 0"-4" AND FROM 58"-66"

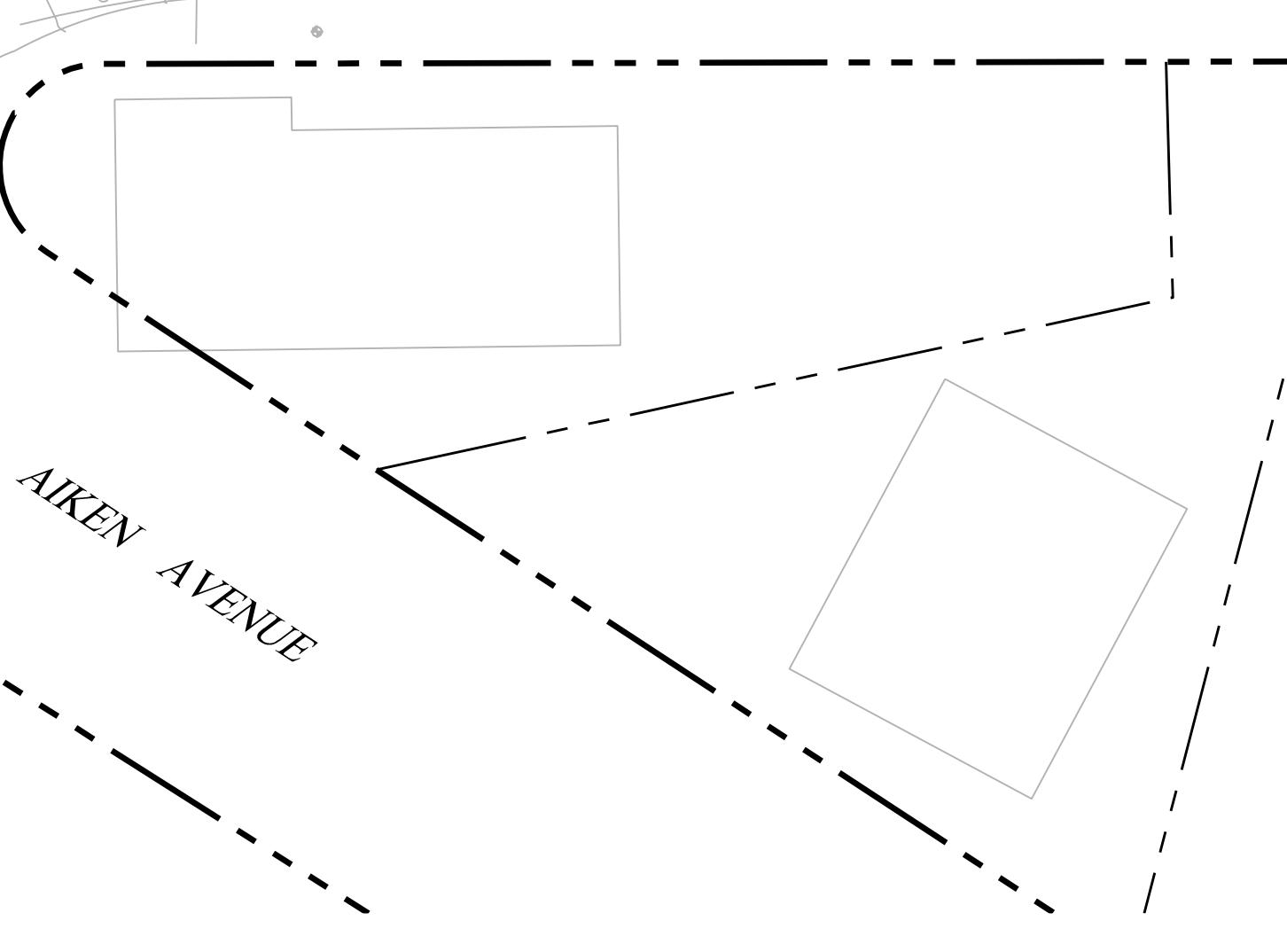
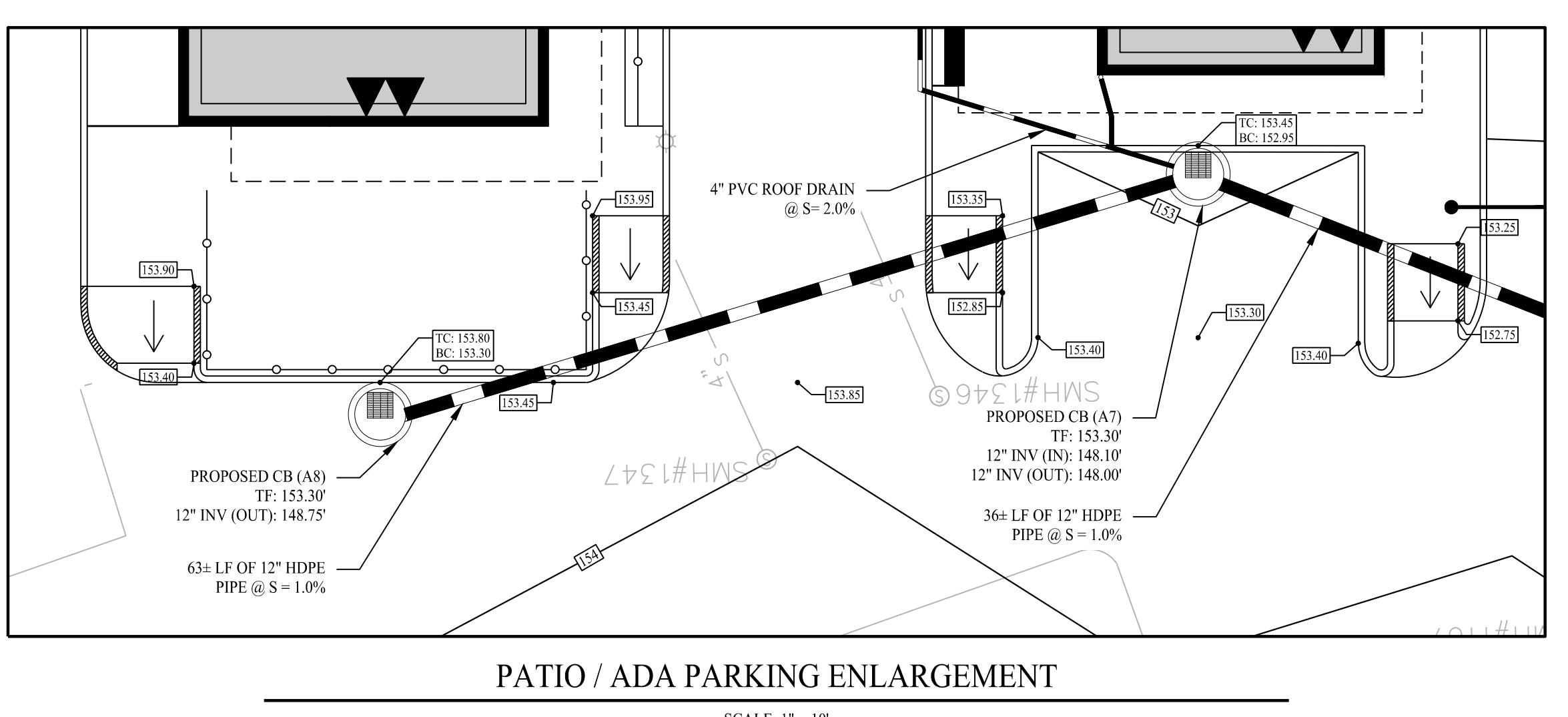
Rev. #:	Date	Description
3	04/27/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
		Graphic Scale:
		20 0 20 40

SOLLI
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Drawn By: PDS
Checked By: CJB
Approved By: KMS
Project #: 22203701
Plan Date: 12/18/24
Scale: 1" = 20'
Project:

BRIDGE STREET
LANDING
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: GRADING & DRAINAGE PLAN
Sheet #: 2.21
DATE:
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



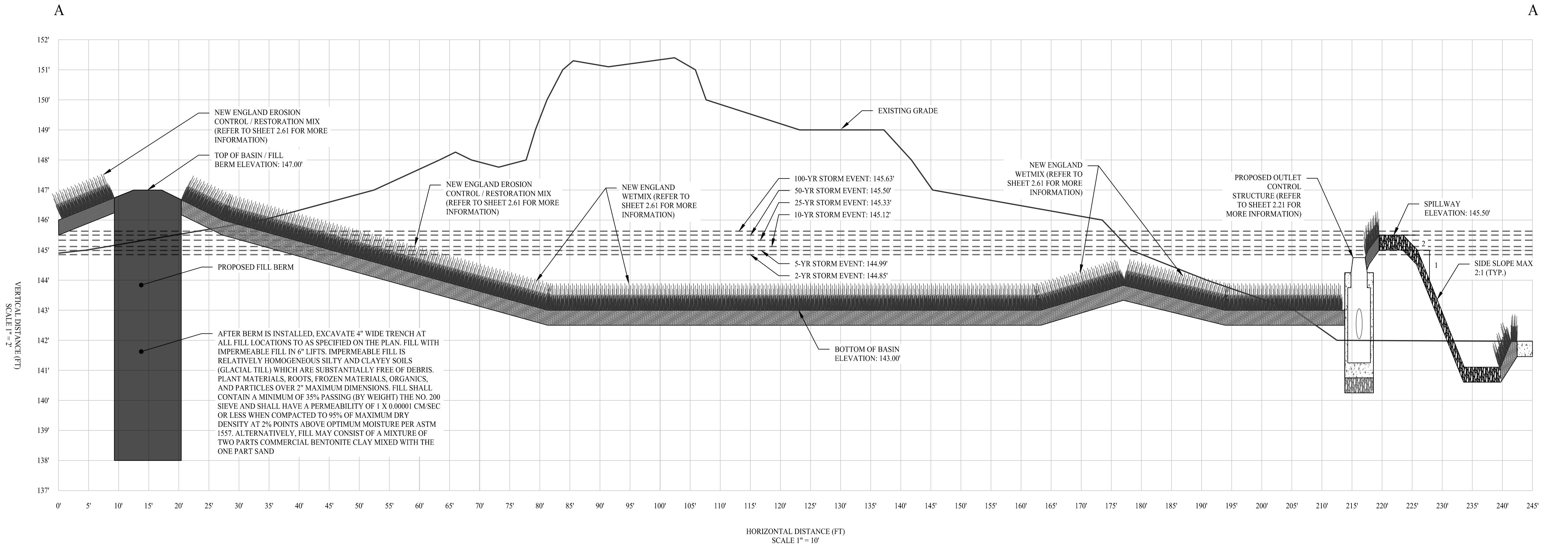
COMMERCIAL DRIVEWAY DETAIL
SCALE: NTS

DRACT PLANNING BOARD

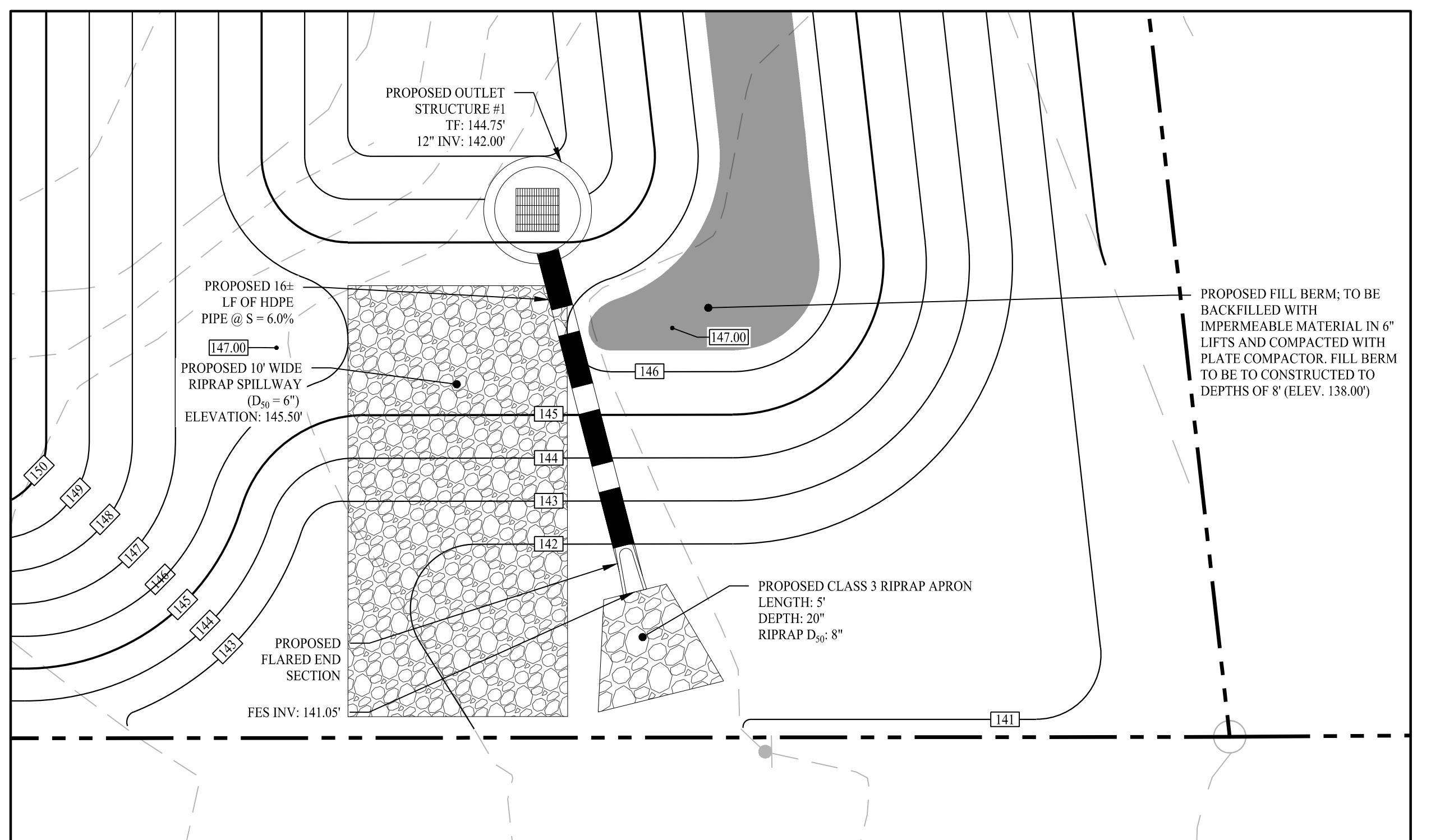
GRADING & DRAINAGE PLAN

DATE:

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



TORMWATER BASIN #1 PROFILE VIEW (SECTION A-A)



LEVEL SPREADER ENLARGEMENT

SCALE: 1"

PRAP APRON CALCULATIONS

PROPOSED RIPRAP APRON HAS BEEN DESIGNED IN ACCORDANCE WITH
U.S. DEPARTMENT OF TRANSPORTATION HYDRAULIC DESIGN OF ENERGY
IMPATATORS FOR CULVERTS AND CHANNELS.

$$0.2D(Q/g^{1/2}D^{2.5})^{4/3}(D/TW)$$

≡ RIP/RAP SIZE (FT)

- RIFRAF SIZE (FT)
CULVERT SIZE (FT)

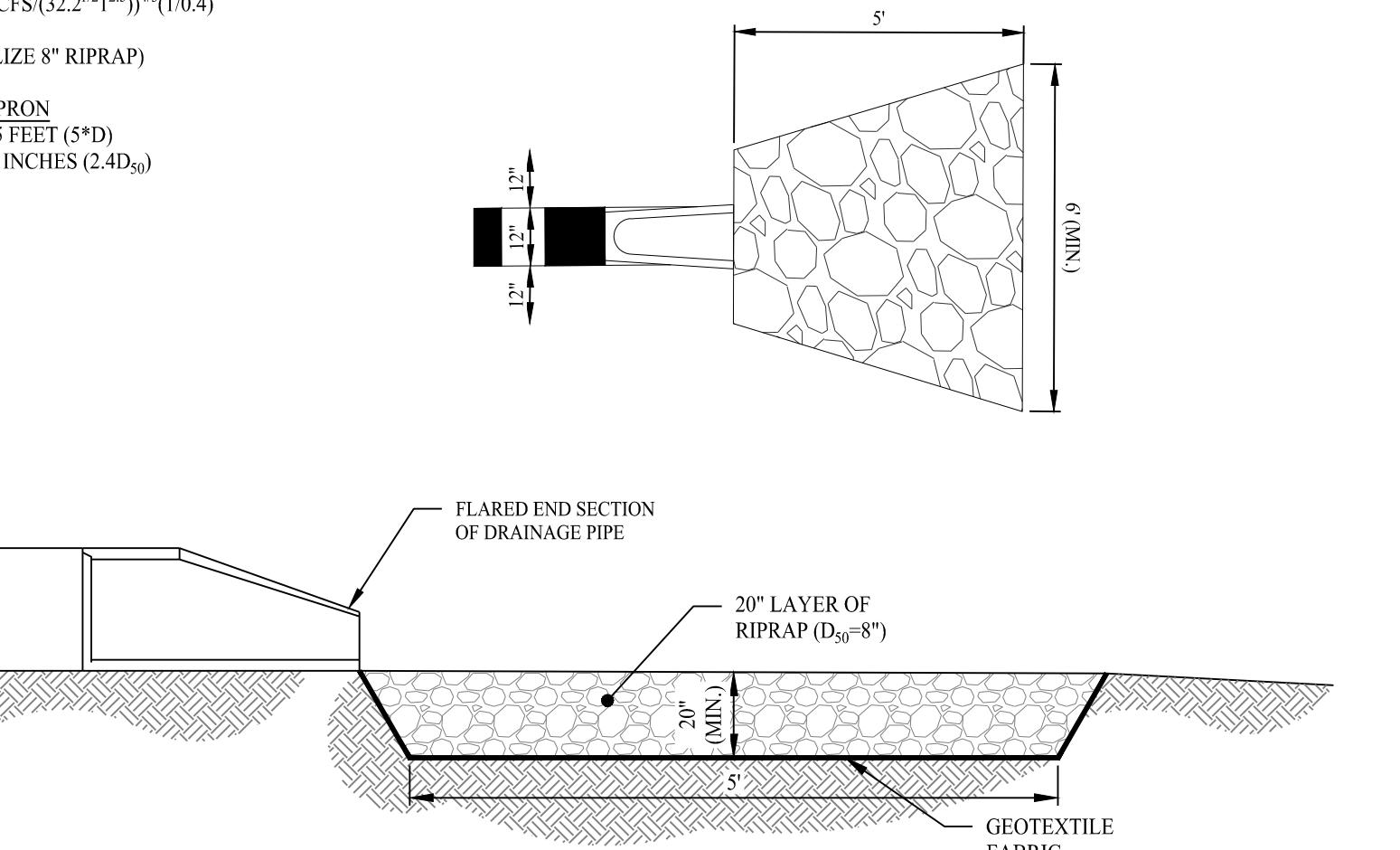
DESIGN DISCHARGE (CFS) (1)

ACCELERATION DUE TO GRAVITY AND TIDE WATER DEPTH (ASSUMED)

$$0.2(1.47)(6.40\,CES/(32.2^{1/2}1^{2.5}))^{4/3}(1/0.4)$$

3.507 FT. UTILITE SABRE (P)

SS 3 RIPRAP APRON
ON LENGTH - 5 FEET (5*D)



E·NTS

<u>DRACUT PLANNING BOARD</u>		Plan Date: 03/05/25	 Kevin Solli, P.E. MA 51952
		Scale: 1" = 5'	
Project: BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS			
Sheet Title: STORMWATER BASIN PROFILE		Sheet #: 2.22	
DATE: _____			
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.			

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EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET", DATED JANUARY 26, 2023, SCALE: 1'=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.

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THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

RADING & DRAINAGE NOTES

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.

UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.

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THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.

ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.

ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.

IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.

ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.

GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.

. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.

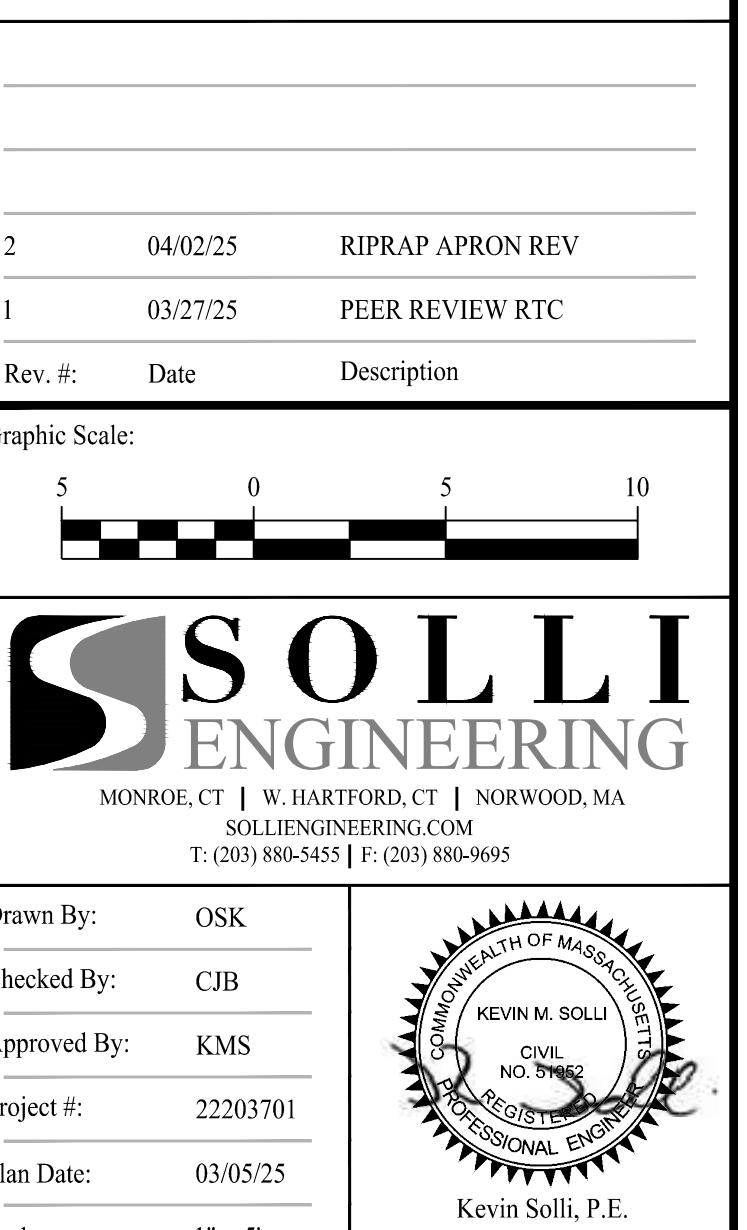
. ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS.

INFILTRATION BASIN NOTES

CONTRACTOR TO OVER-EXCAVATE THE PROPOSED INFILTRATION BASIN AND REMOVE ALL EXISTING FILL MATERIAL AND SANDY LOAM LAYERS AT THE DIRECTION OF THE ON-SITE CIVIL ENGINEER (VARYING DEPTHS). CONTRACTOR TO PLACE CLEAN SOILS WITHIN THE BOTTOM OF THE INFILTRATION BASIN WITH AN EXFILTRATION RATE OF 2.41 INCHES / HOUR. LABORATORY OR ON-SITE TESTING TO BE CONDUCTED TO CONFIRM RATES.

EXPOSED SOIL SURFACE SHALL NOT BE TRAFFICKED WITH CONSTRUCTION EQUIPMENT. EXCAVATIONS SHALL BE PERFORMED WITH EQUIPMENT POSITIONED OUTSIDE OF THE INFILTRATION SYSTEM.

DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.



calc. 1 - 5 MA 51952

project:

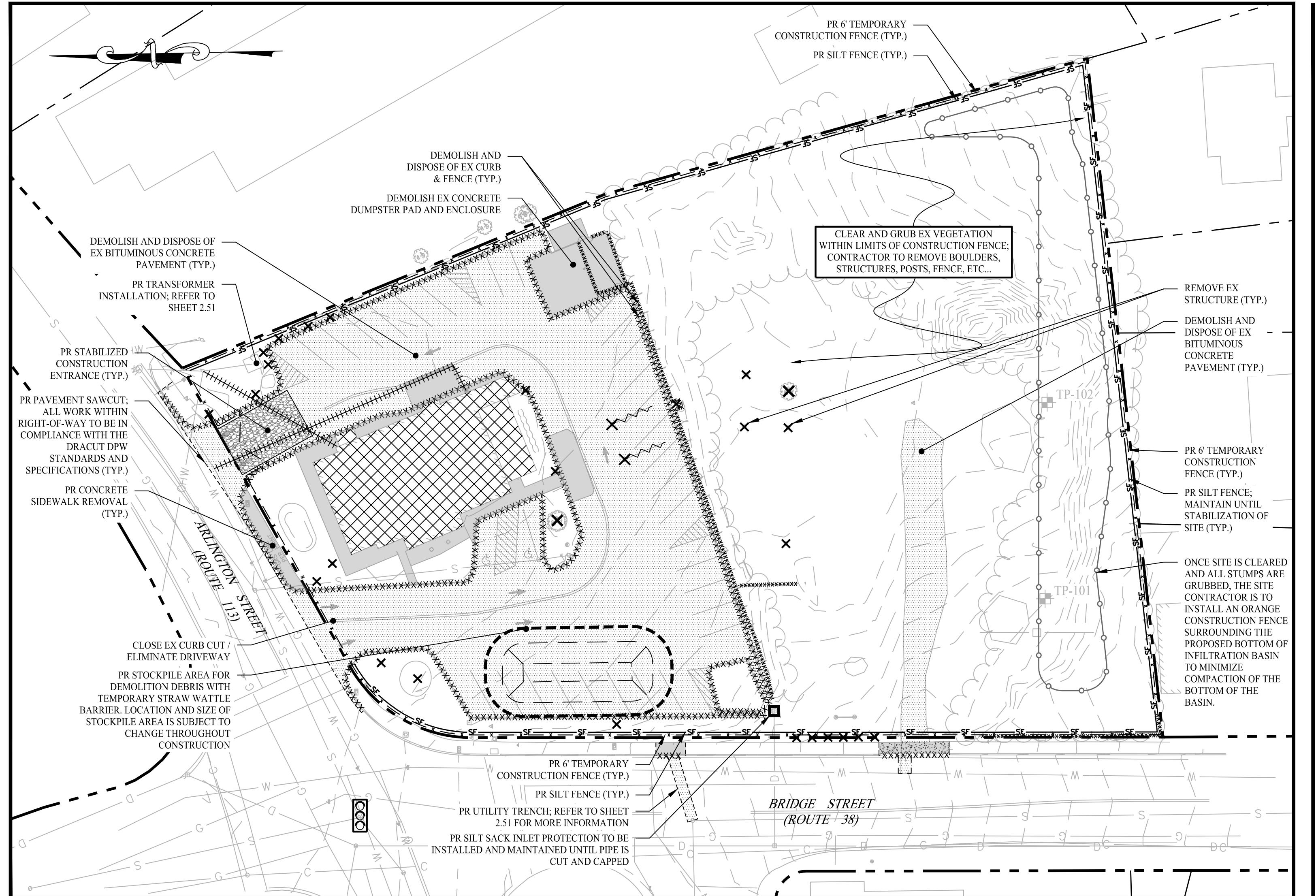
BRIDGE STREET LANDING

5 ARLINGTON STREET
BRAZIL, MASSACHUSETTS

Sheet Title:

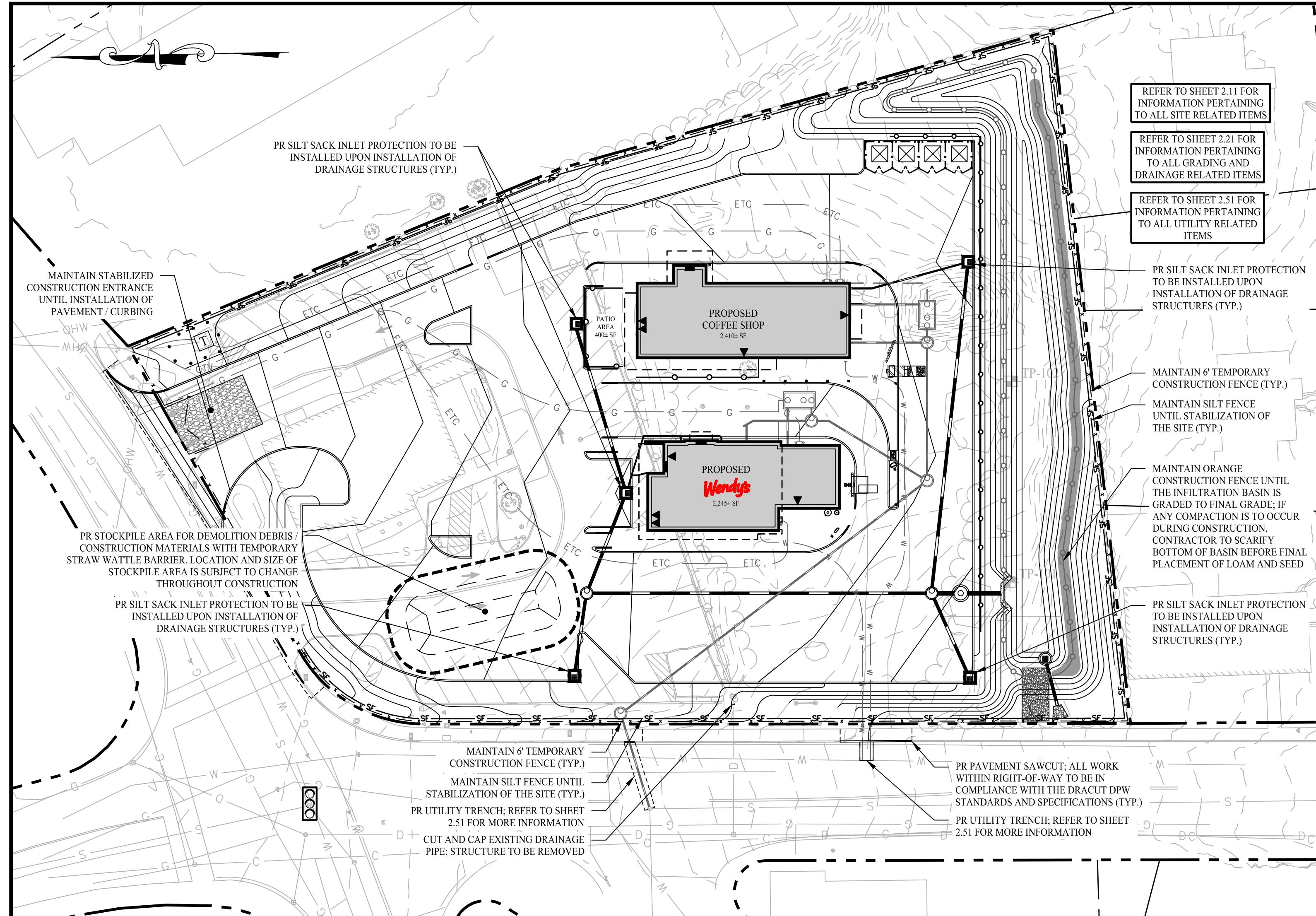
**STORMWATER
BASIN
PROFILE**

2.22



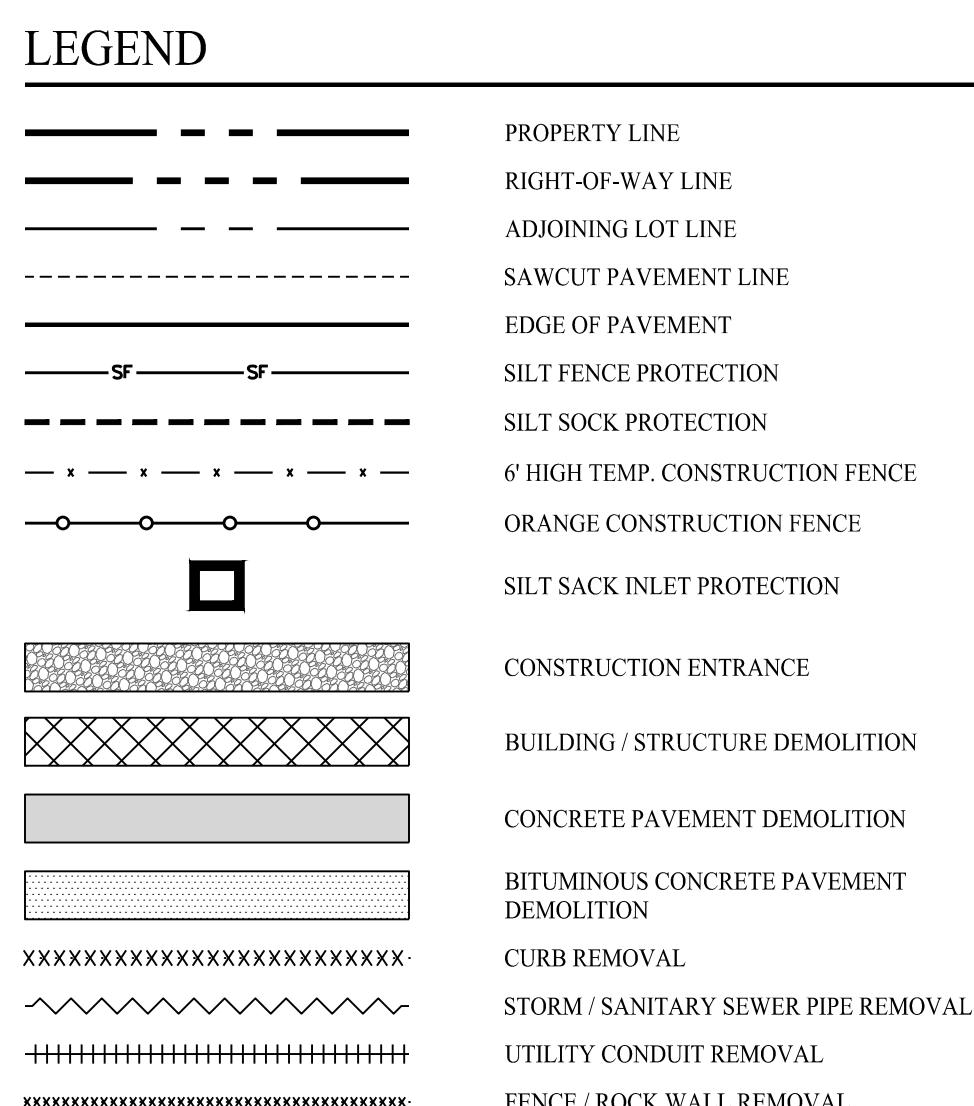
PHASE I - DEMOLITION & SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'



PHASE II - SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE: 1" = 30'



GENERAL NOTES

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- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT FOR THIS PROJECT.
- EXISTING CONDITIONS AND ZONING INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARINGTON STREET & 137 BRIDGE STREET", DATED JANUARY 26, 2023, SCALE: 1"-15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN SITE BY NORTHEAST SURVEY CONSULTANTS.
- TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62 ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.
- REFER TO SHEET 2.41 FOR SOIL EROSION NOTES AND DETAILS.

INFILTRATION BASIN NOTES

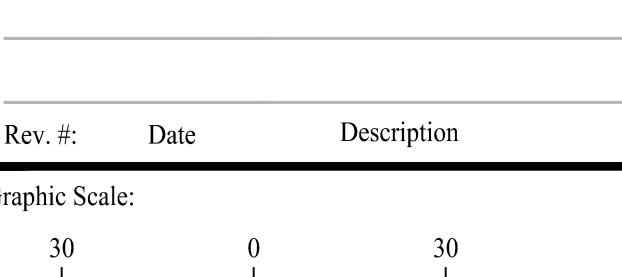
- CONTRACTOR TO OVER-EXCAVATE THE PROPOSED INFILTRATION BASIN AND REMOVE ALL EXISTING FILL MATERIAL, AND SANDY LOAM LAYERS AT THE DIRECTION OF THE ON-SITE CIVIL ENGINEER (VARYING DEPTHS). CONTRACTOR TO PLACE CLEAN SOILS WITHIN THE BOTTOM OF THE INFILTRATION BASIN WITH AN EXFILTRATION RATE OF 2.41 INCHES / HOUR. LABORATORY OR ON-SITE TESTING TO BE CONDUCTED TO CONFIRM RATES.
- EXPOSED SOIL SURFACE SHALL NOT BE TRAFFICKED WITH CONSTRUCTION EQUIPMENT. EXCAVATION SHALL BE PERFORMED WITH EQUIPMENT POSITIONED OUTSIDE OF THE INFILTRATION SYSTEM.
- DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

CONSTRUCTION SEQUENCE (PHASE 1)

- PHASE I:**
 - ENSURE ALL BONDING / FEES / ZONING PERMITS ARE PAID AND APPROVED BY TOWN OF DRACUT PRIOR TO CONSTRUCTION.
 - INSTALL CONSTRUCTION FENCE AND STABILIZED CONSTRUCTION ENTRANCE / EXIT.
 - INSTALL SILT FENCE / SEC MEASURES AS PROPOSED (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SEC MEASURES).
 - PERMANENTLY STABILIZE PARKING AND STORAGE AREAS.
 - INSTALL SILT SACK INLET PROTECTION ON ALL EXISTING DRAINAGE STRUCTURES WITHIN THE PROJECT SITE AND WITHIN PROXIMITY OF THE SITE.
 - HALT ALL ACTIVITIES AND CONTACT THE ENGINEER OF RECORD / TOWN OF DRACUT LAND USE AGENT TO PERFORM INSPECTION AND CERTIFICATION OF BEST MANAGEMENT PRACTICES (BMPs). GENERAL CONTRACTOR SHALL SCHEDULE AND CONDUCT THE STORM WATER PRE-CONSTRUCTION MEETING WITH THE ENGINEER OF RECORD, TOWN AGENCIES, AND GROUND-DISTURBING CONTRACTOR BEFORE PROCEED WITH CONSTRUCTION.
 - PERFORM PAVEMENT SAWCUTS.
 - DEMOLISH AND REMOVE EXISTING STRUCTURES / FOUNDATIONS.
 - BEGIN CLEARING AND GRUBBING THE SITE.
 - ESTABLISH MATERIAL STOCKPILE AREA AND INSTALL SEC BARRIER SURROUNDING PILE.
 - BEGIN ROUGH GRADING OF THE SITE.

CONSTRUCTION SEQUENCE (PHASE II)

- PHASE II:**
 - INSTALL STORMWATER INFILTRATION BASIN.
 - TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
 - INSTALL PROPOSED STORM DRAINAGE SYSTEM AND STRUCTURES (SEE SHEET 2.21).
 - UPON INSTALLATION OF DRAINAGE STRUCTURES INLET PROTECTIONS TO BE INSTALLED.
 - INSTALL UTILITIES AS SHOWN ON SHEET 2.51.
 - START CONSTRUCTION OF BUILDING PAD, PARKING AREAS, AND STRUCTURES.
 - INSTALL CURBS.
 - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
 - PREPARE SITE FOR FINAL GRADING.
 - CONSTRUCT CONCRETE PADS AND SIDEWALKS.
 - INSTALL APPROPRIATE INLET PROTECTIONS PRIOR TO PAVING.
 - PAVE AREAS SHOWN ON SITE LAYOUT PLAN, SEE SHEET 2.11.
 - CONTRACTOR / CONSTRUCTION MANAGER TO COORDINATE WITH ENGINEER OF RECORD TO OBTAIN STABILIZED SITE STATUS.
 - CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION REPORT IS SIGNED BY THE CONSTRUCTION MANAGER AND SUBMITTED.



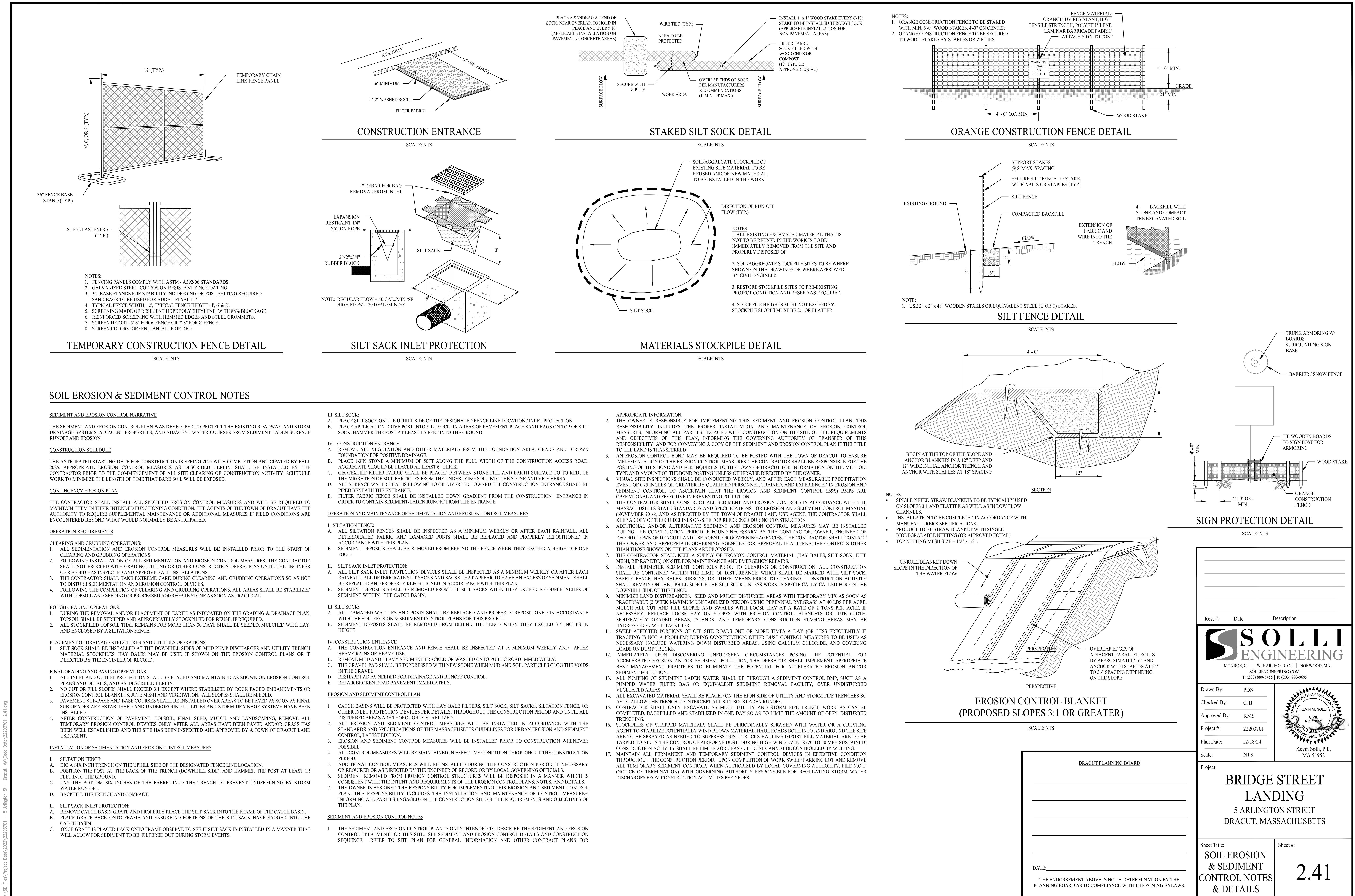
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MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLINEERING.COM
T: (203) 880-5455 | F: (203) 880-6995

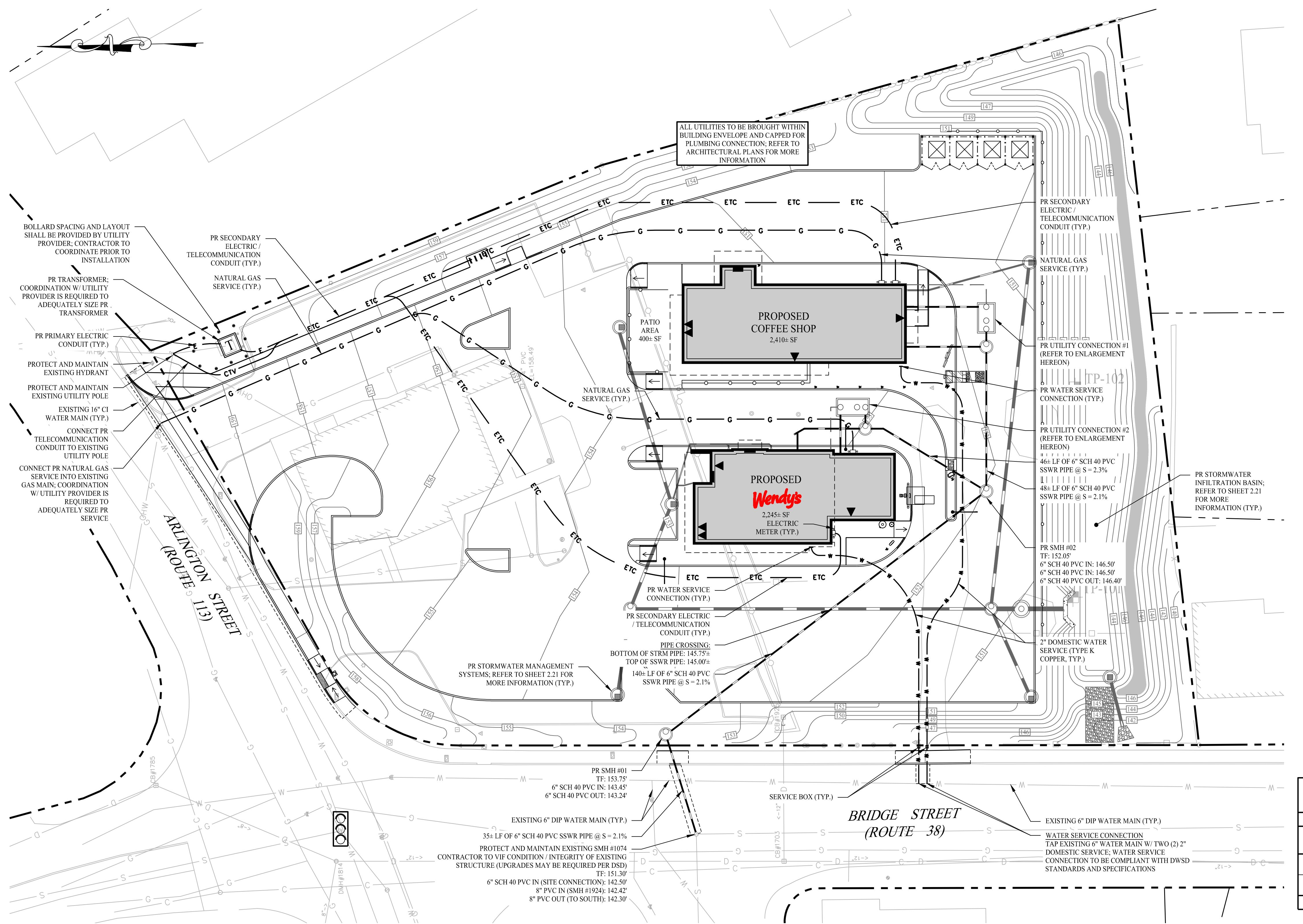
Drawn By: PDS
Checked By: CJB
Approved By: KMS
Project #: 22203701
Plan Date: 12/18/24
Scale: 1" = 30'
Rev. #: Date Description



Project: BRIDGE STREET LANDING
5 ARINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: SOIL EROSION & SEDIMENT CONTROL PLAN
Sheet #: 2.31
DATE:
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.





UTILITY CONTACTS

WATER
MICHAEL SHEU / SUPERINTENDENT
DRACUT WATER SUPPLY DISTRICT
59 HOPKIN STREET
DRACUT, MASSACHUSETTS 01826
(978) 957-0441

SEWER
MARGUERITE HOOVER / SUPERINTENDENT
TOWN OF DRACUT SEWER DEPARTMENT
TOWN HALL
62 ARLINGTON STREET
DRACUT, MASSACHUSETTS 01826
(978) 957-0371

ELECTRIC
NATIONAL GRID ELECTRIC
40 SYLVAN ROAD
WALTHAM, MASSACHUSETTS 02451
(781) 296-6483

GAS
NATIONAL GRID GAS
40 SYLVAN ROAD
WALTHAM, MASSACHUSETTS 02451
(781) 907-2845

GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
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3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET", DATED JANUARY 26, 2023, SCALE: 1'=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
 - 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
 - 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

UTILITY NOTES

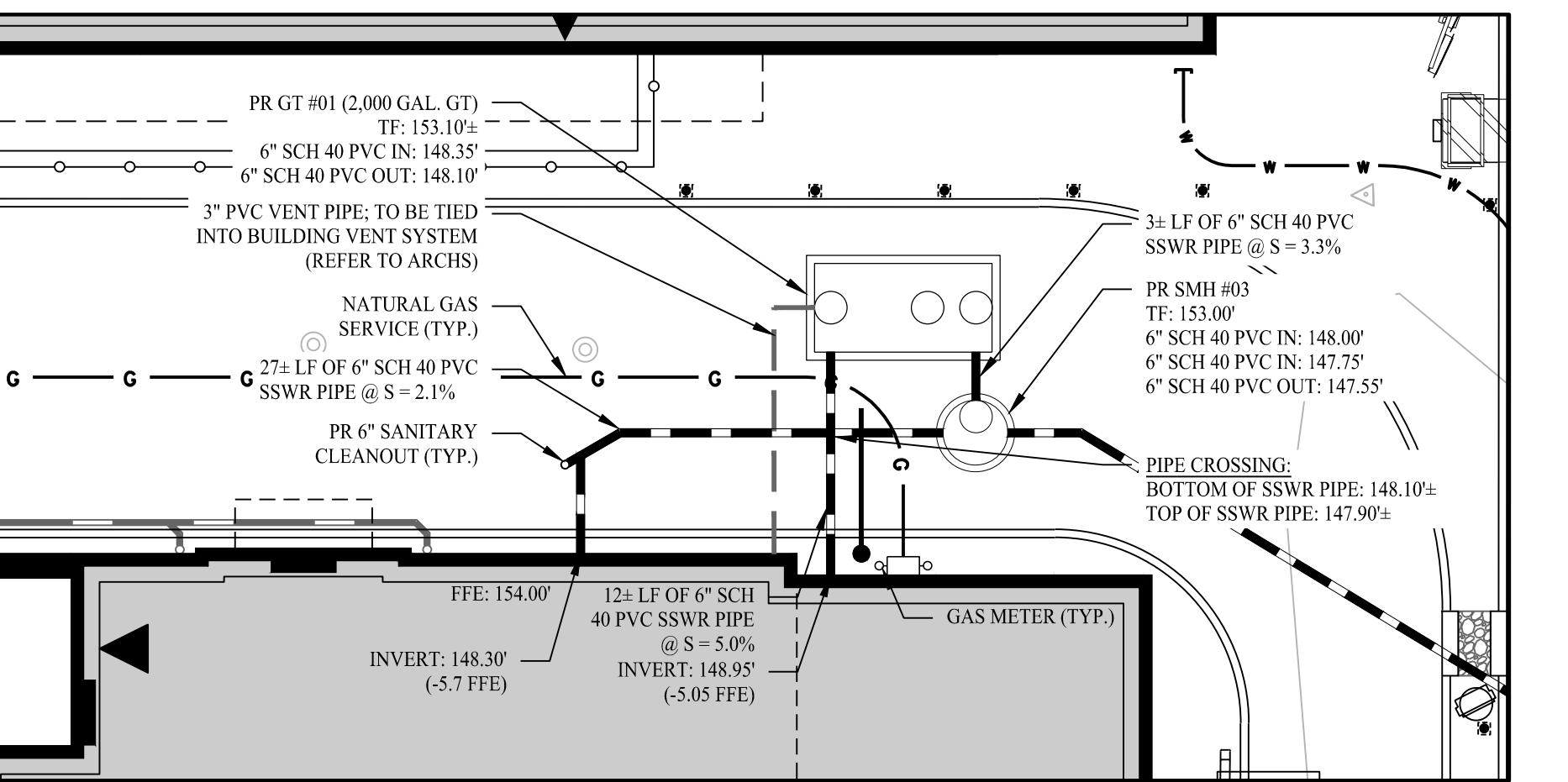
1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE COMMENCEMENT OR WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. COORDINATION WITH THE ENGINEER OF RECORD WILL BE NEEDED FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLANS.
6. ALL DISTURBANCE TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER SERVICE SHALL BE IN COMPLIANCE WITH THE DRACUT WATER SUPPLY DISTRICT STANDARDS AND SPECIFICATIONS.
10. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE SEWER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF DRACUT SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
11. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE ELECTRIC SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
12. ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE GAS SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
13. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

UTILITY NOTES

PROPOSED CONDITIONS			
BUILDING USE	GFA / SEATS	MASSDEP TITLE 5 DESIGN FLOW RATE	PROPOSED DESIGN FLOW
PROPOSED WENDY'S	2,245± SF / 60 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,200 GPD
PROPOSED COFFEE SHOP	2,410± SF / 62 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,240 GPD
TOTAL PROPOSED DESIGN FLOW			2,440 GPD

LEGEND

— - — — —	PROPERTY LINE
— - — — —	RIGHT-OF-WAY LINE
— - — — —	ADJOINING LOT LINE
W W W	WATER MAIN / LATERAL
G G G	GAS LINE
E E E	ELECTRIC CONDUIT
CTV	CABLE & TELEPHONE CONDUIT
ETC	UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES
— — — — —	SANITARY SEWER PIPE
	GREASE TRAP
	SANITARY SEWER MANHOLE
	WATER SERVICE BOX
	GAS METER
	ELECTRIC METER
	ELECTRIC TRANSFORMER

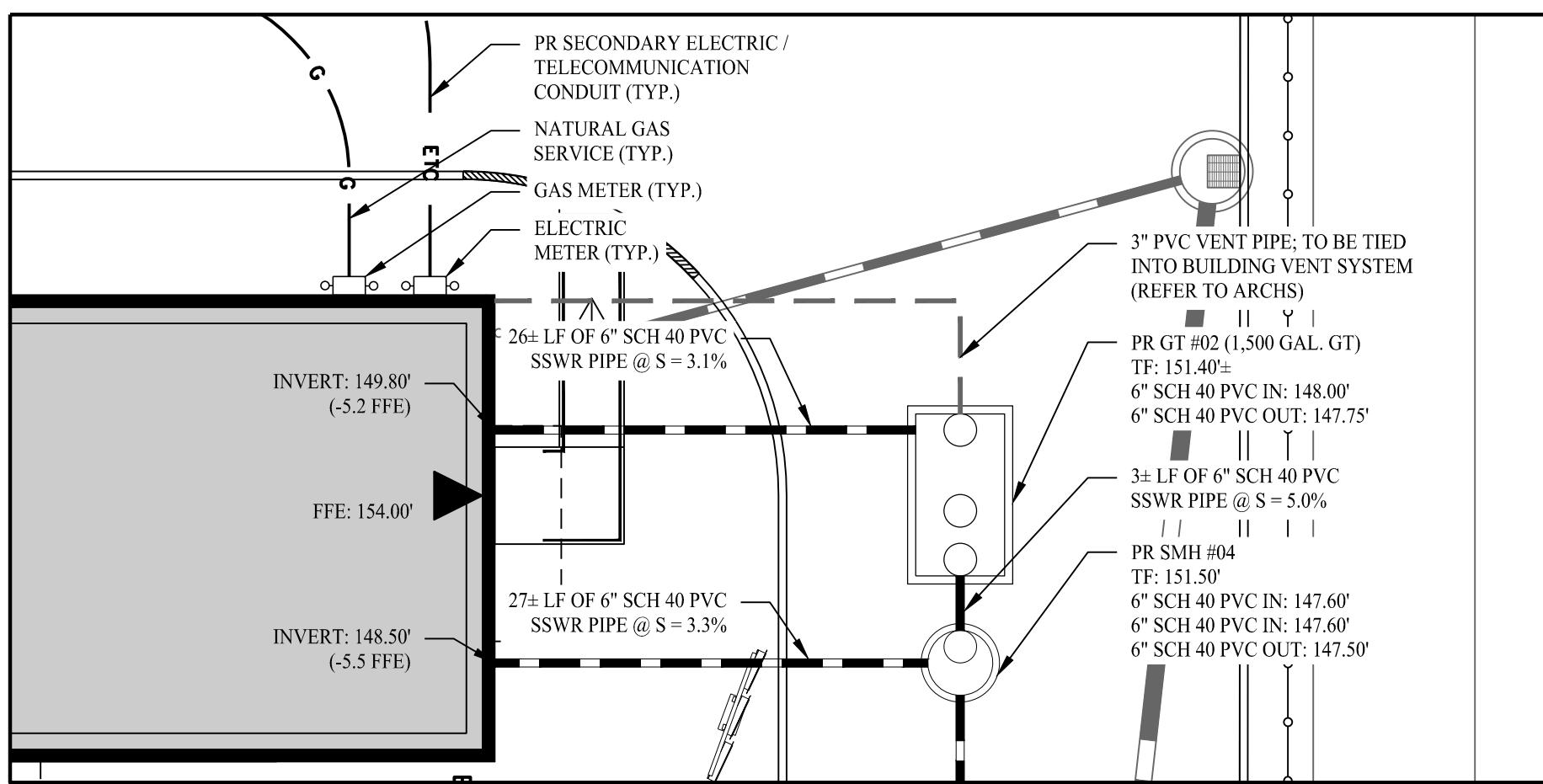


UTILITY CONNECTION #1

SCALE: 1" = 1

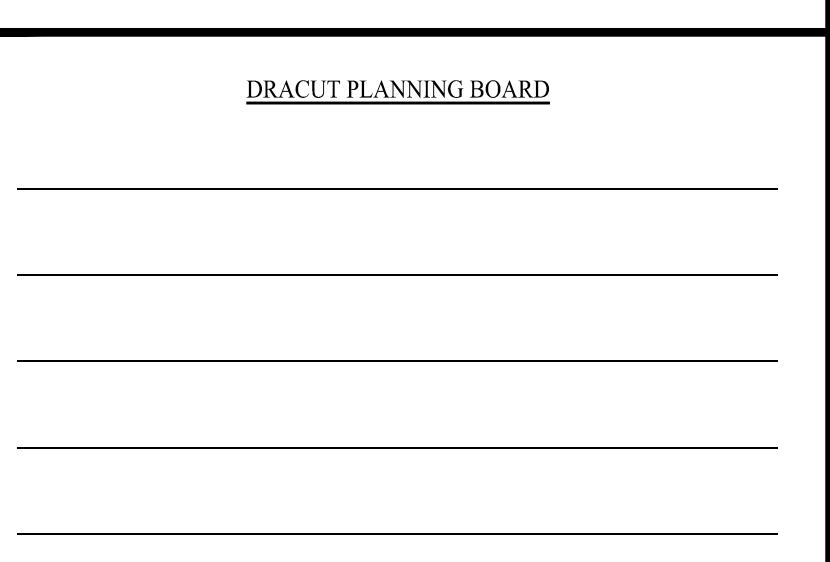
UTILITY CONNECTION #2

SCALE: 1" = 10



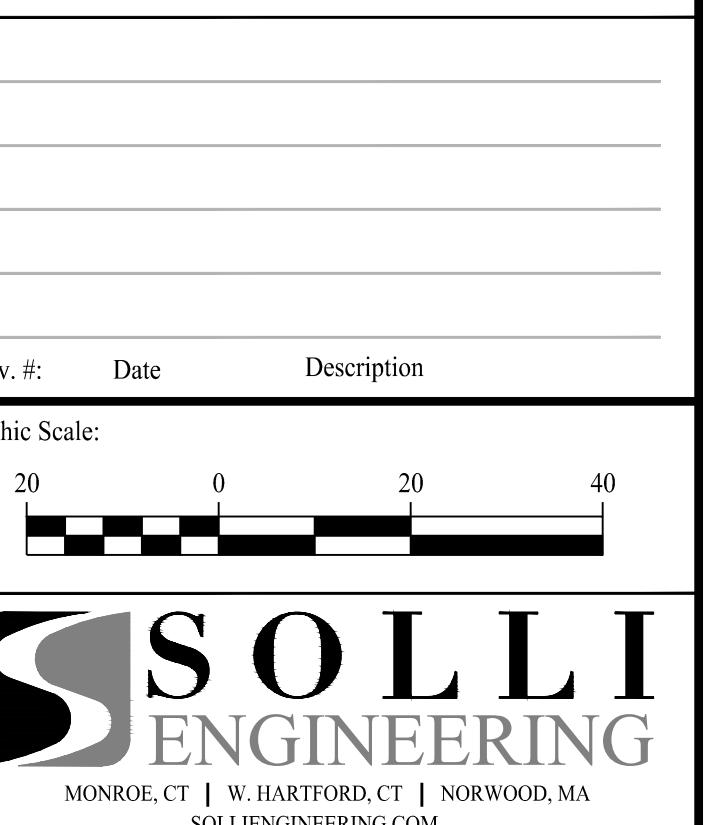
UTILITY CONNECTION #1

SCALE: 1" = 1



DATE: _____

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE
PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BY LAWS.

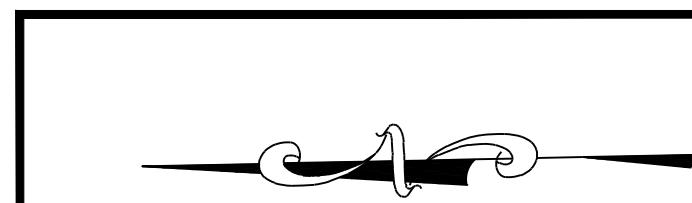


own By:	PDS
Asked By:	CJB
roved By:	KMS
ect #:	22203701
Date:	12/18/24
:	1" = 20'

BRIDGE STREET LANDING

5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Project Title:	Sheet #:
SITE UTILITY PLAN	2.51



Specifications

Luminaire

Height: 8-1/2"

(21.59 cm)

Width: 17"

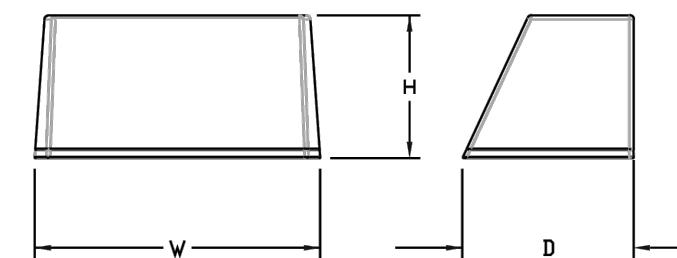
(43.18 cm)

Depth: 10-3/16"

(25.9 cm)

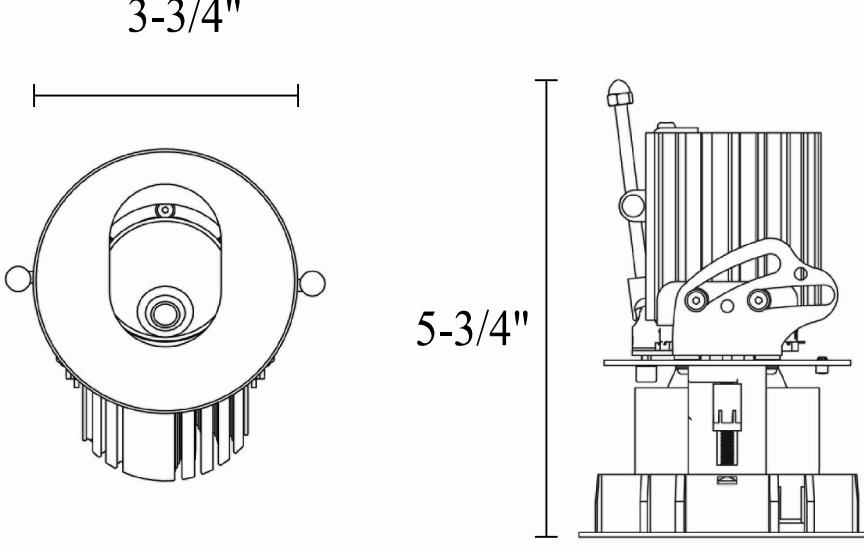
Weight: 20 lbs

(9.1 kg)



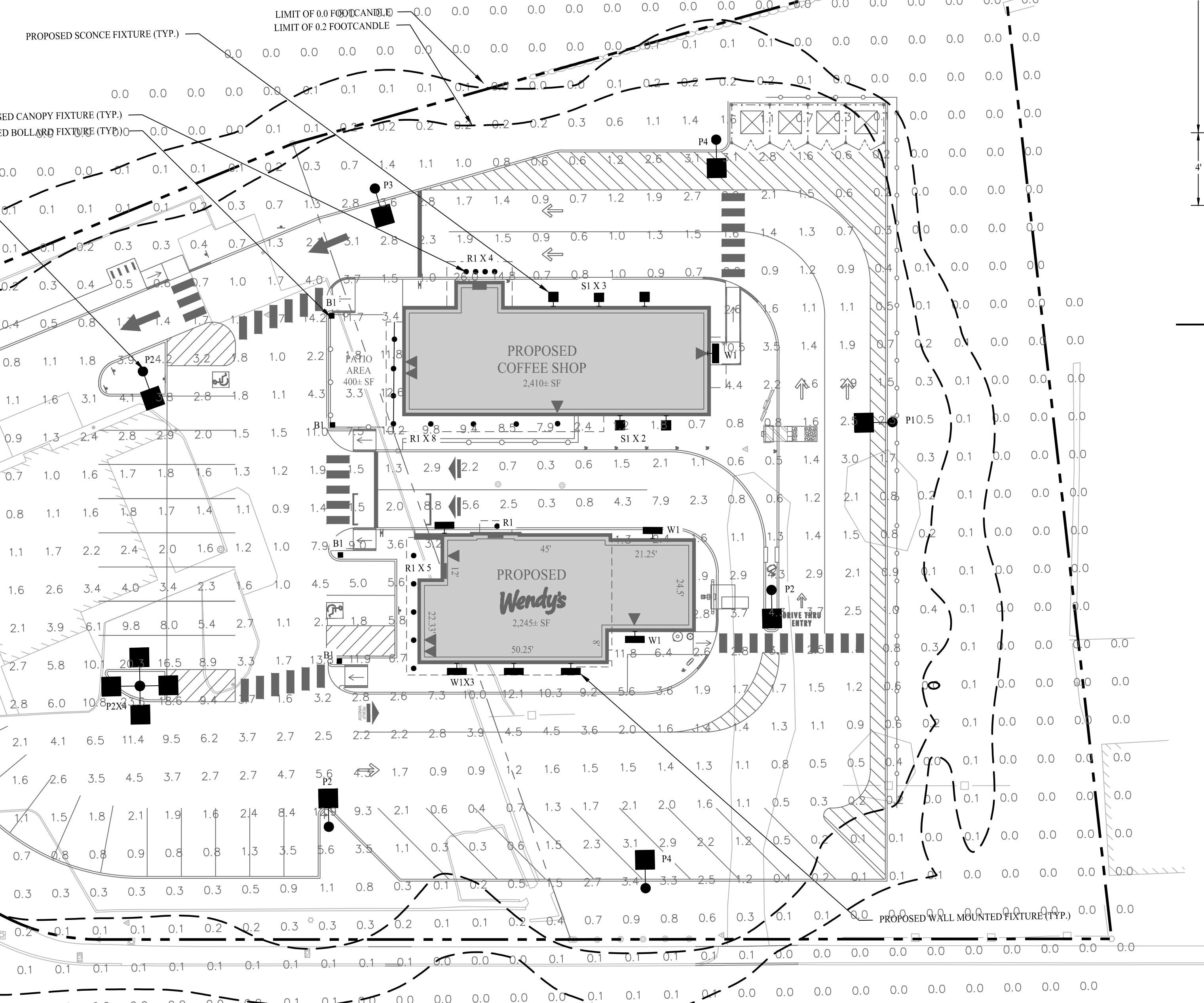
PROPOSED WALL MOUNTED LIGHT FIXTURE - W1

LITHONIA LIGHTING, WST WALL PACK
SCALE: NTS



PROPOSED BOLLARD FIXTURE - B1

CREE LIGHTING, EDGE PATHWAY BOLLARD
SCALE: NTS



Fixture Schedule

QTY	CALLOUT	SYMBOL	Fixture Description	Model	Notes	LUMENS
7	W1	■	WALL MOUNTED FIXTURE	WSTLED-P2-30K-VF-MVLT-DBLXD	3K LED, 10' MOUNTING HEIGHT	3,000
18	R1	●	CANOPY MOUNTED FIXTURE	ALPHABET LEDRA BRANDS, SERIES NUI TYPE RAPH, WD	27W 3K LED, 10' MOUNTING HEIGHT	1,110
4	B1	■	BOLLARD FIXTURE	CREE LIGHTING EDGE SERIES, MODEL PWY-EDG-5M-P4-02-E-UH-BK-S25	34W 3K LED, 46"	2,404
5	S1	■	WALL MOUNTED FIXTURE	NOVUS DECOR, ARMOR OUTDOOR SCONCE: LED PAR 20 550LM 3000K, BLACK	3K LED, 6' ON CENTER MOUNTING HEIGHT	550
1	P1	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4M-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
7	P2	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4M-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	8,225
2	P3	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSO LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
2	P4	●■	POLE MOUNTED FIXTURE	CREE LIGHTING OSO LED SERIES, MODEL OSQ-M-C-BLSF-9L-30K7-4B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,175
8	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-ID-C-BK	17' POLE, 1' FOUNDATION	N/A
1	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-ID90-C-BK	17' POLE, 1' FOUNDATION	N/A

Legend

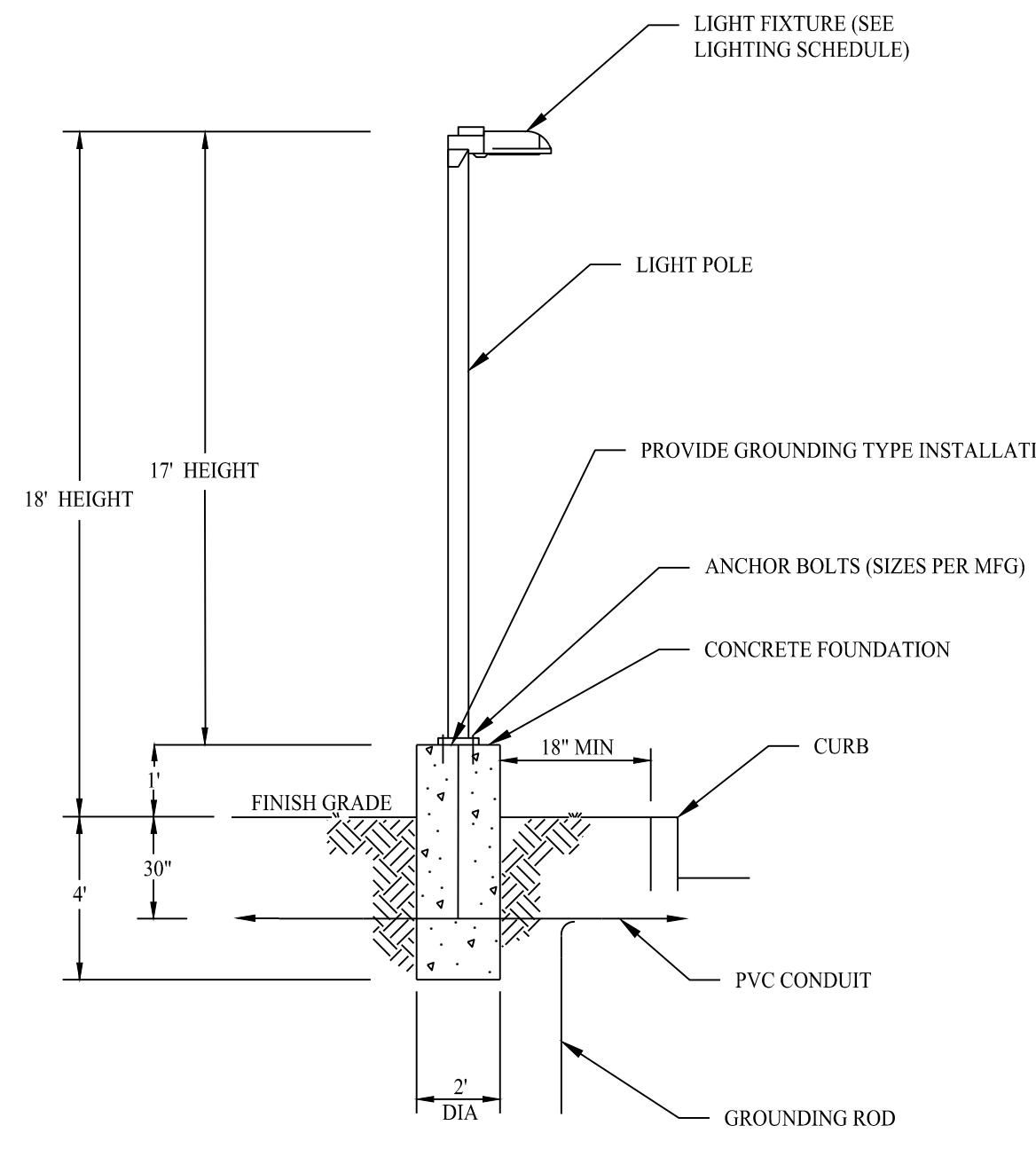
0.1	0.1	0.1	PROPOSED FOOTCANDLES
0.1	0.1	0.0	PROPOSED WALL MOUNTED FIXTURE
0.1	0.0	0.0	PROPOSED WALL SCONCE
●	●	●	PROPOSED CANOPY MOUNTED FIXTURES
■	■	■	PROPOSED BOLLARD FIXTURES
●■	●■	●■	EXISTING POLE MOUNTED FIXTURES
—	—	—	LINE OF 0.2 & 0.0 FOOTCANDLES

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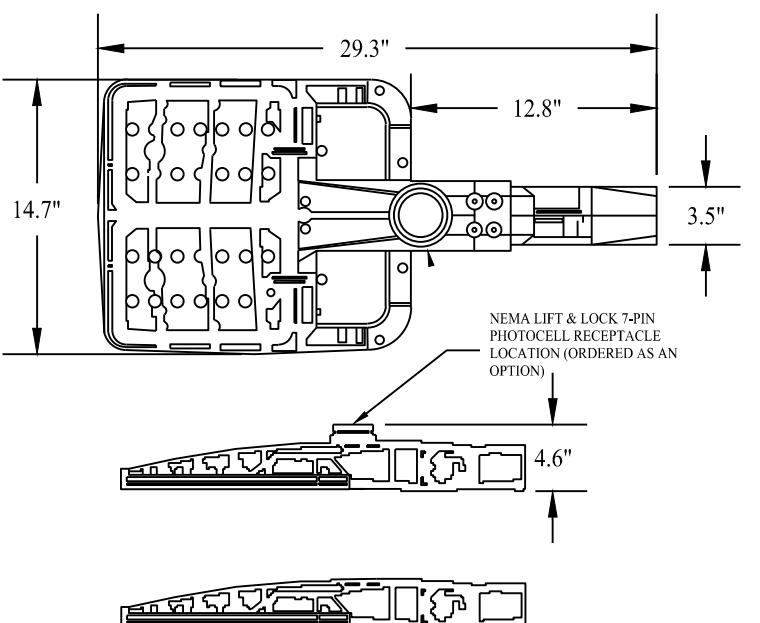
LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH TOWN, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- ALL EXISTING SITE LIGHT FIXTURES TO BE REMOVED.



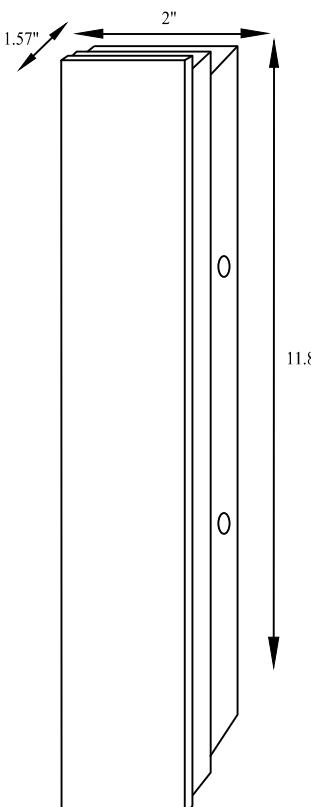
PROPOSED LIGHT POLE - P1, P2, P3 & P4

SCALE: NTS



POLE MOUNTED LIGHT FIXTURE - P1, P2, P3 & P4

CREE LIGHTING, OSO-A LED SERIES, BRONZE
SCALE: NTS



PROPOSED WALL MOUNTED SCONCE - S1

NOVUS LIGHTING, ARMOR OUTDOOR WALL SCONCE
SCALE: NTS

Rev. #:	Date:	Description:	
Graphic Scale:			
20	0	20	40

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T: (203) 880-5455 | F: (203) 880-6995

Drawn By: MMH

Checked By: MFB

Approved By: KMS

Project #: 22203701

Plan Date: 12/18/24

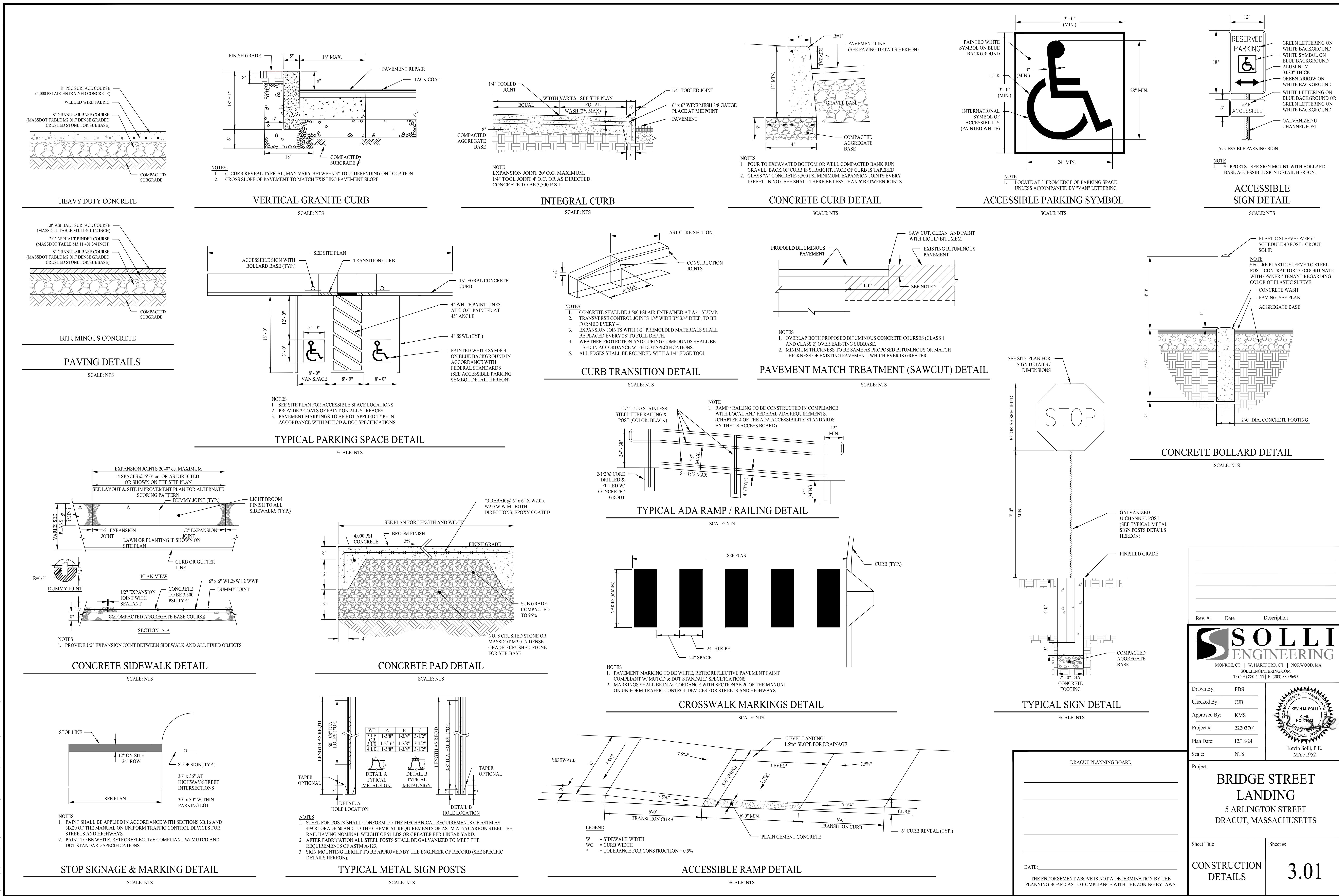
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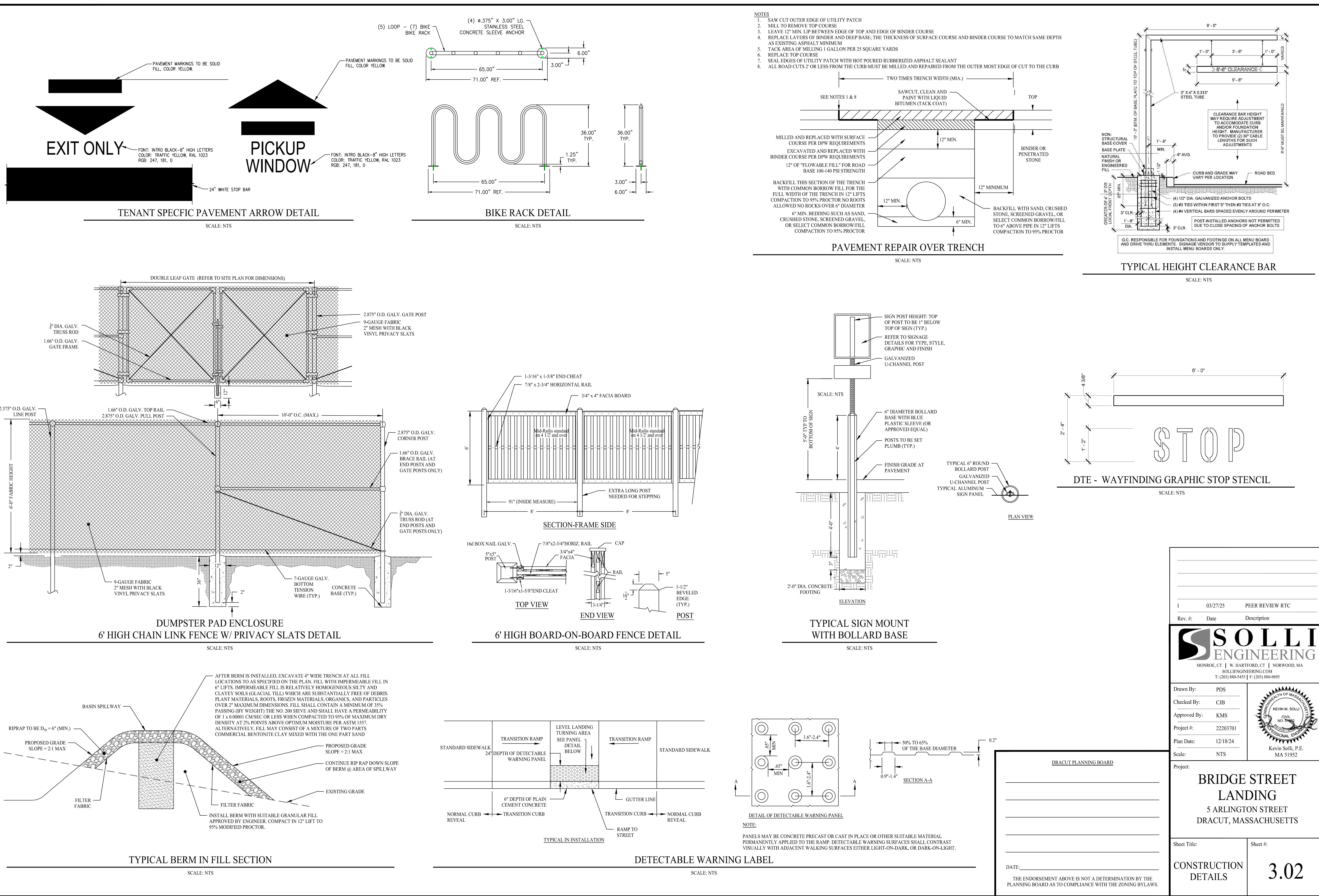


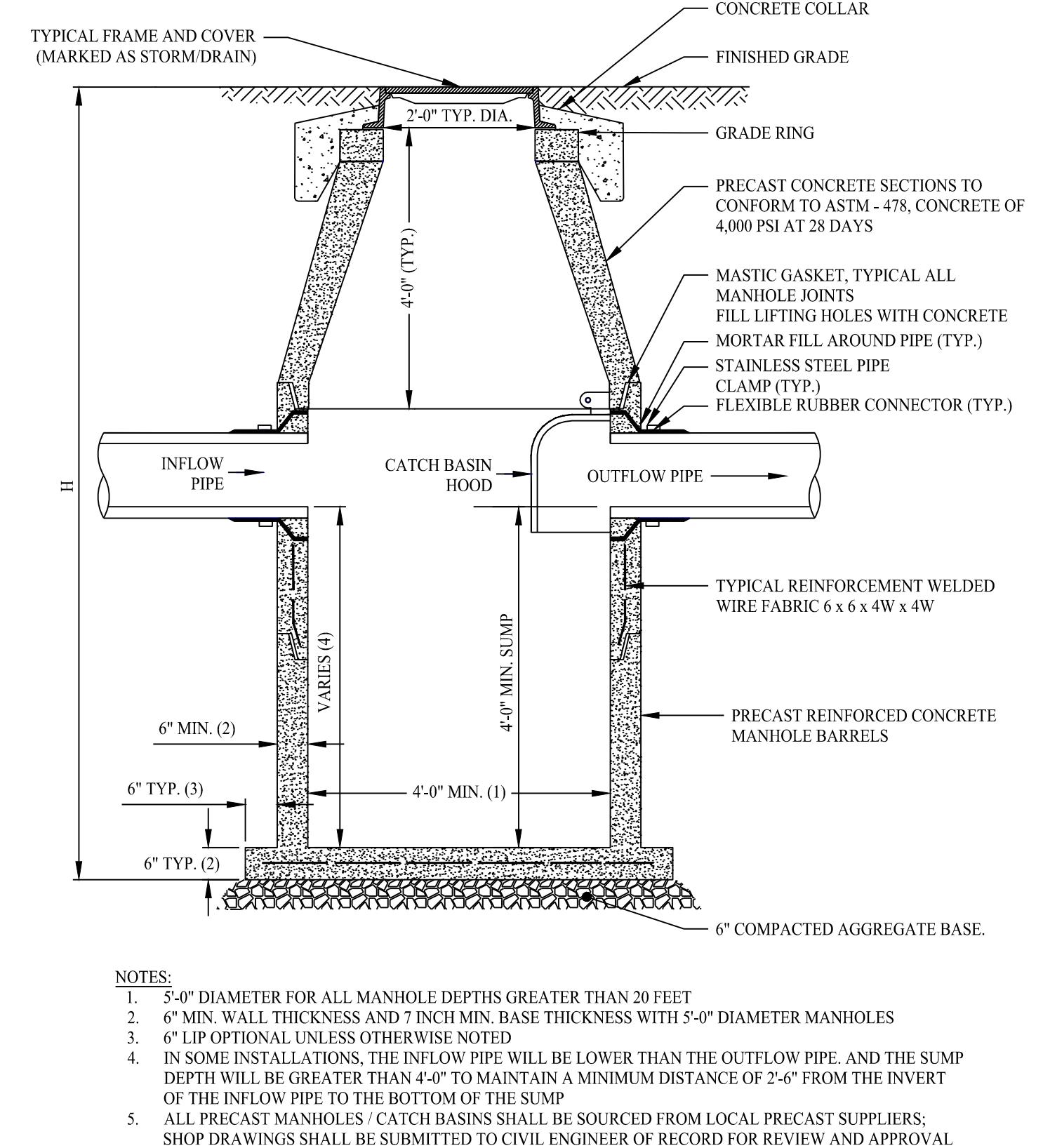
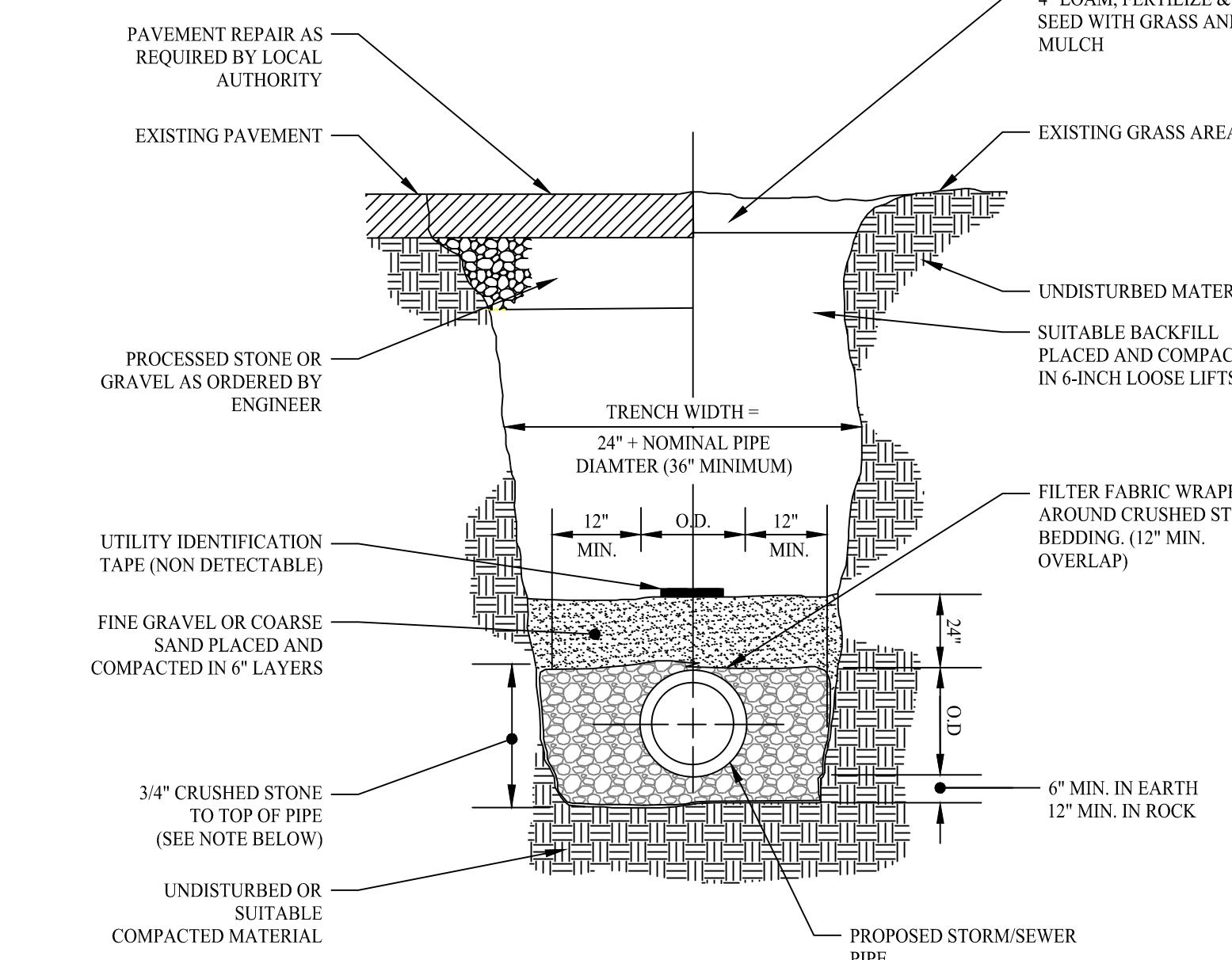
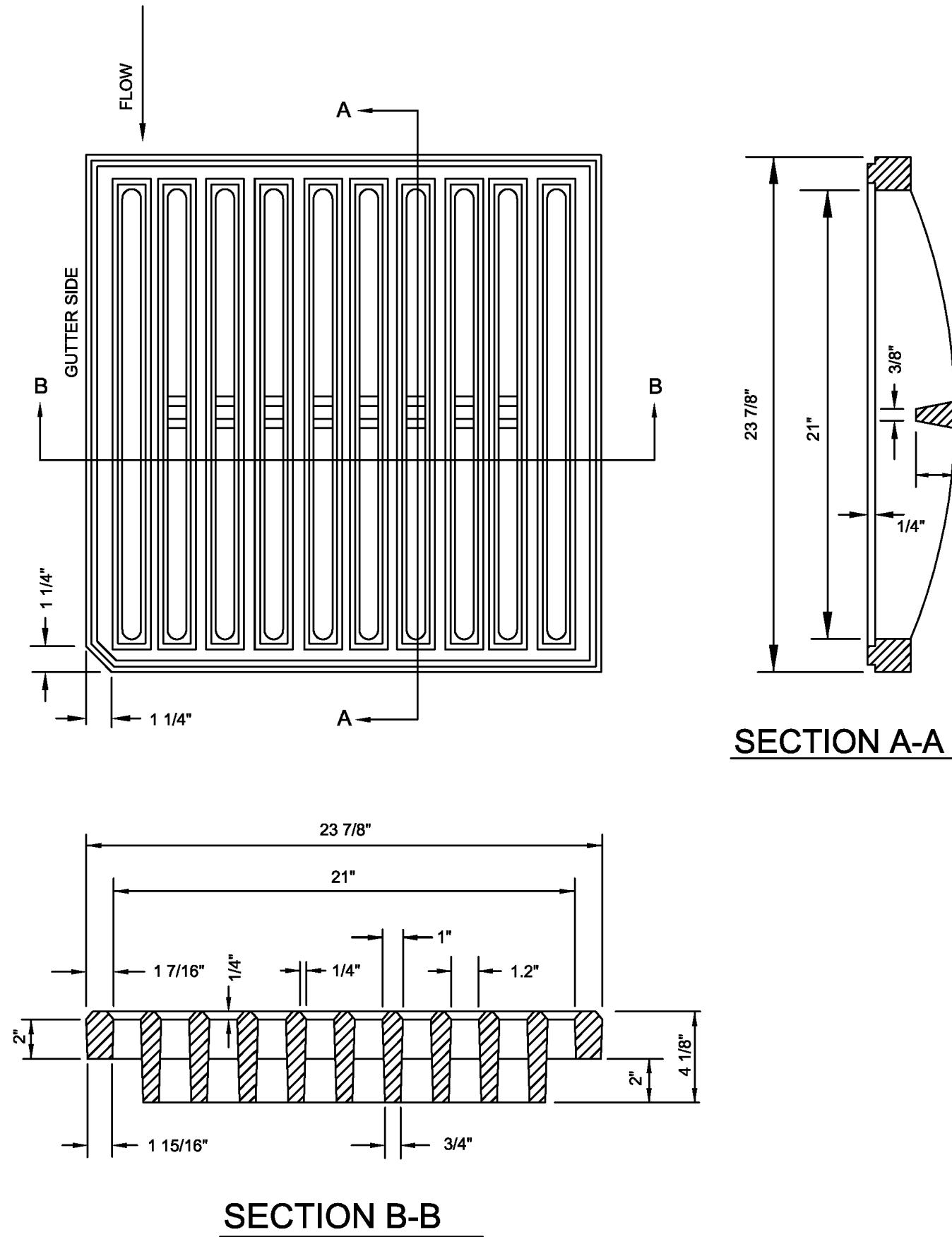
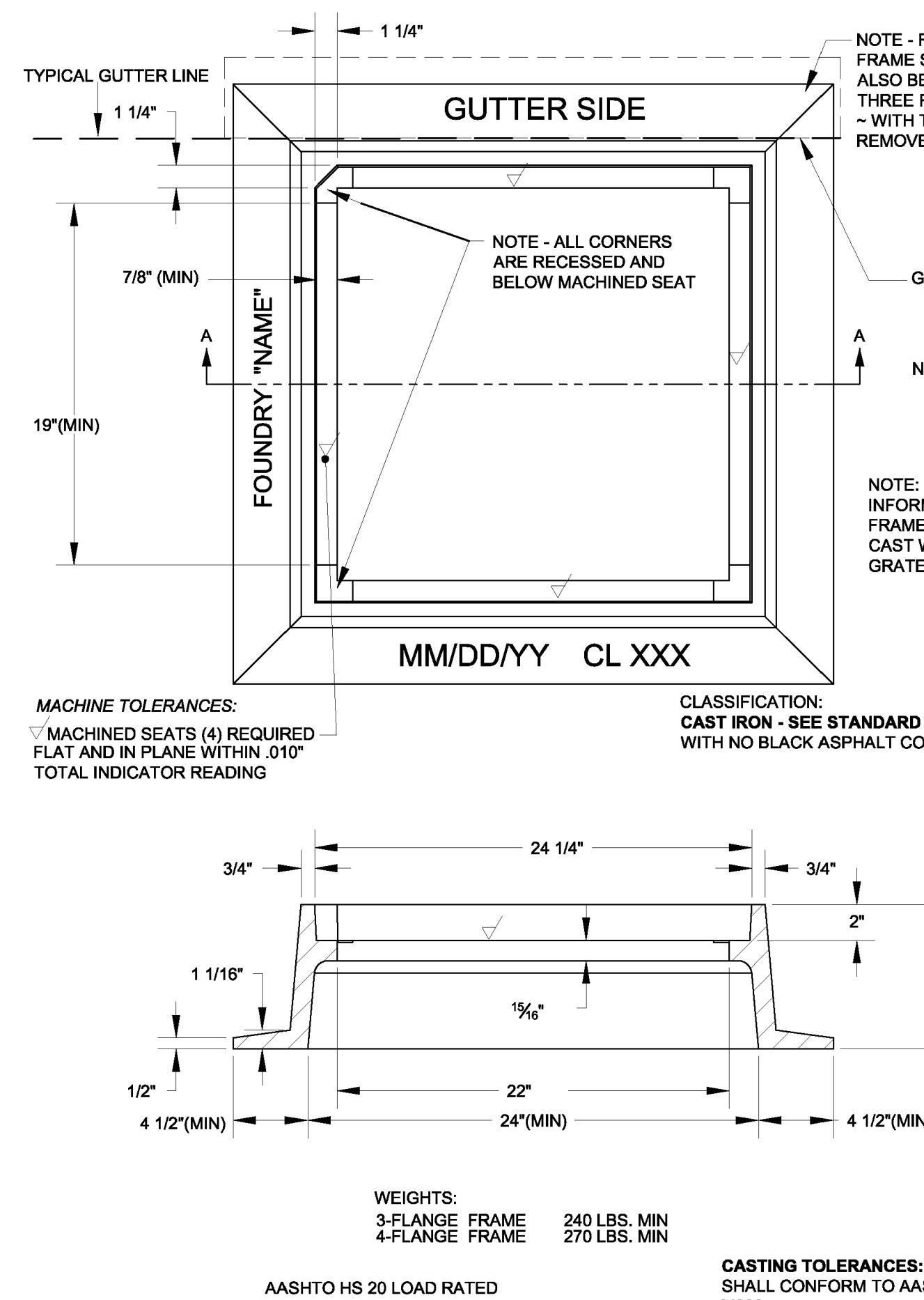
Project:
**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: LIGHTING PLAN
Sheet #: 2.71

DATE:
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.







CATCH BASIN FRAME DETAIL

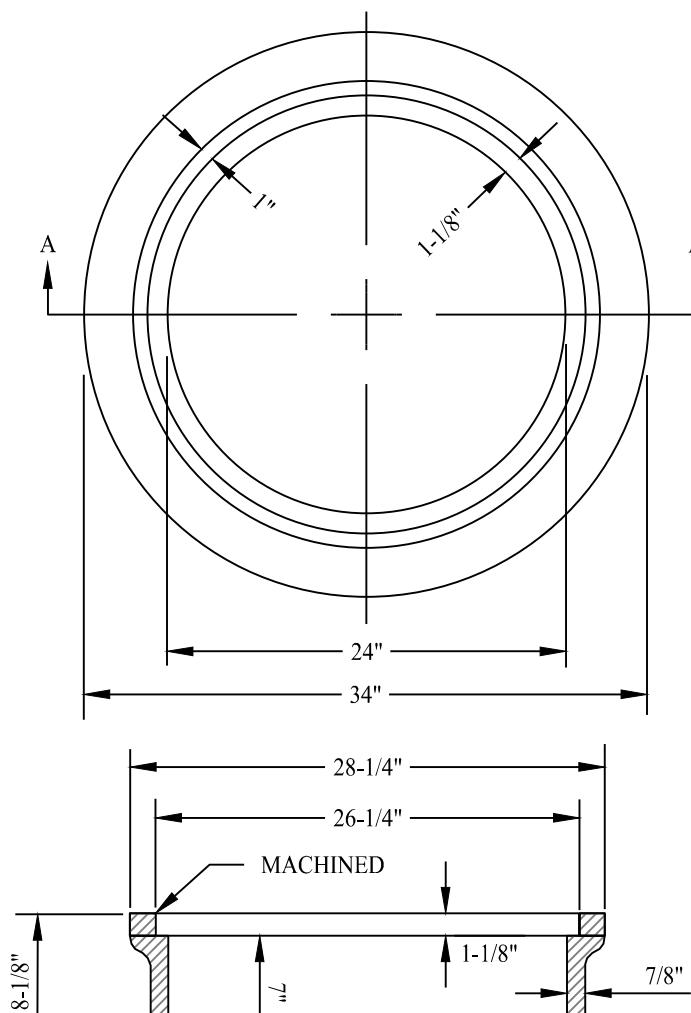
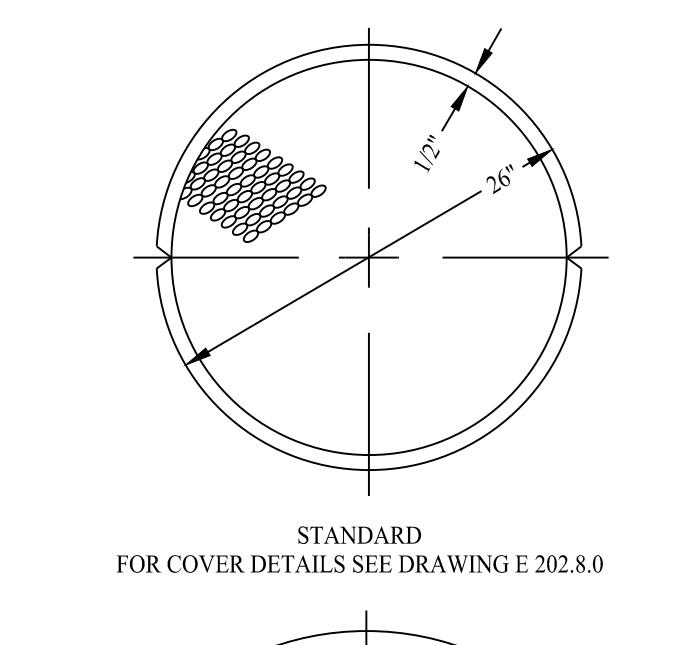
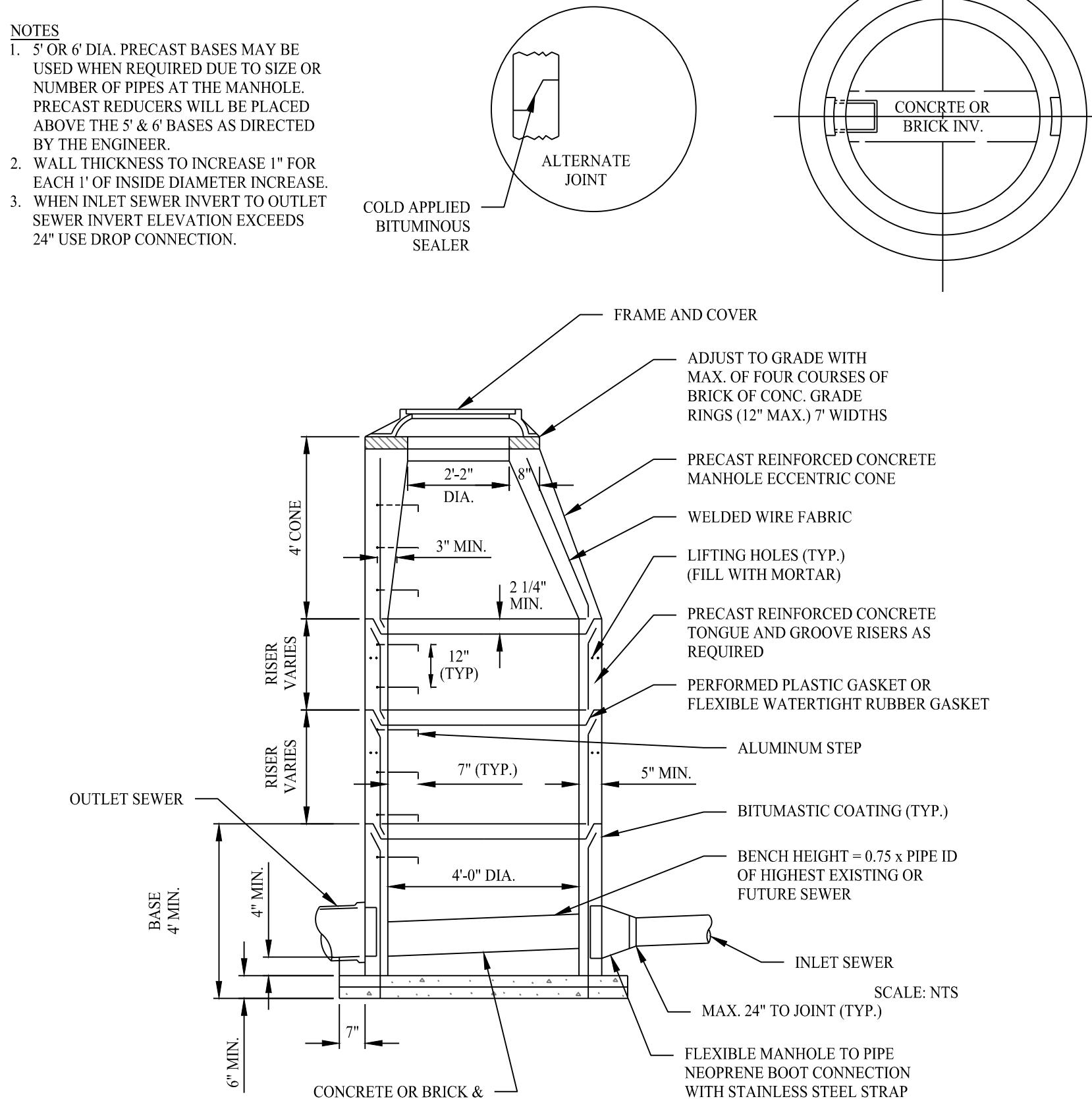
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CATCH BASIN GRATE DETAIL

DETAIL PROVIDED BY MASSDOT

STORM / SEWER TRENCH SECTION DETAIL

SCALE: NTS



PRECAST SANITARY MANHOLE

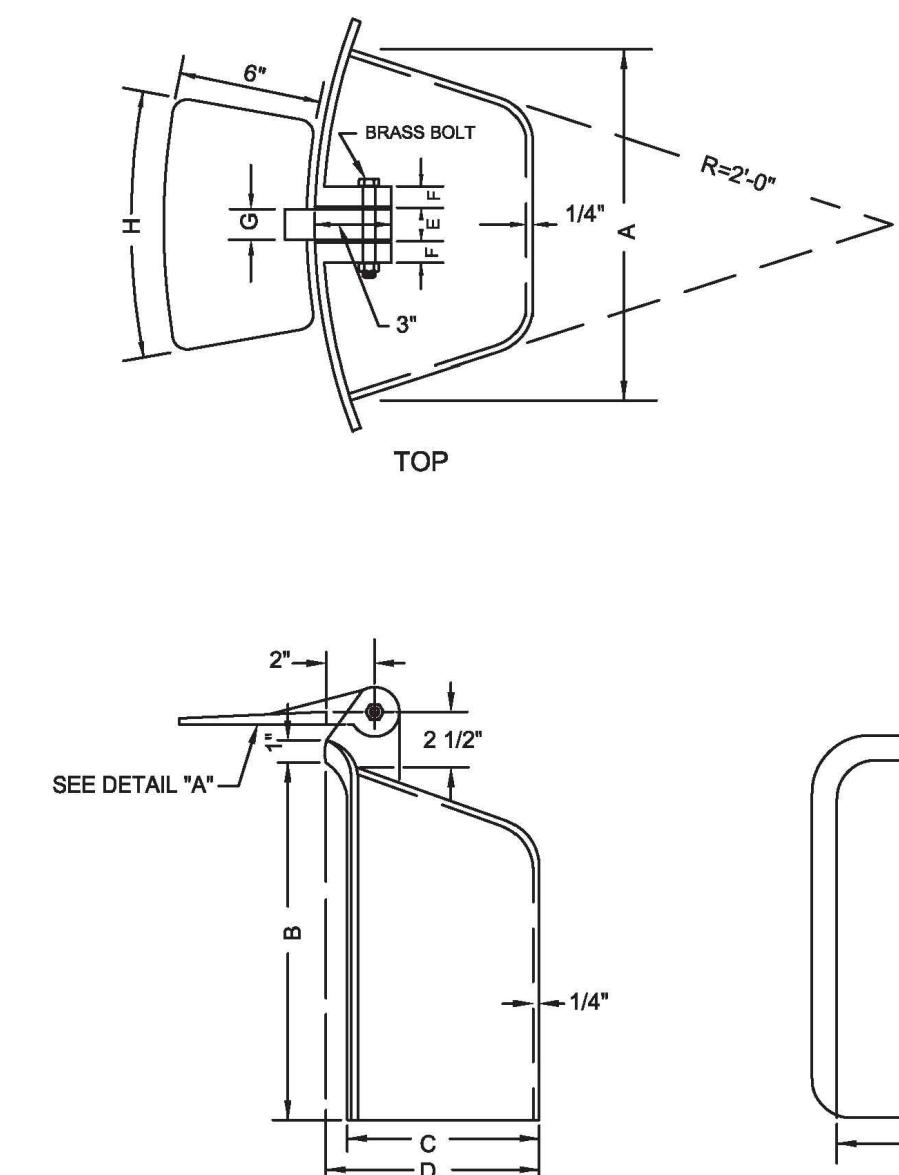
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MANHOLE FRAME AND COVER

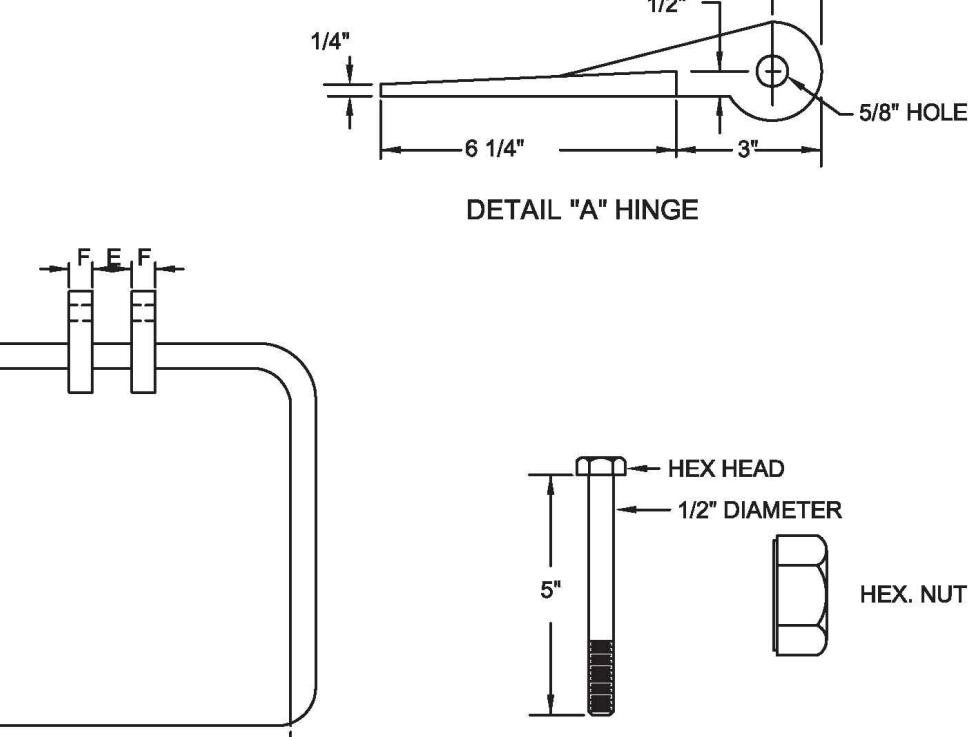
SCA

CATCH BASIN HOOD DETAIL

DETAIL PROVIDED BY MASSDOT

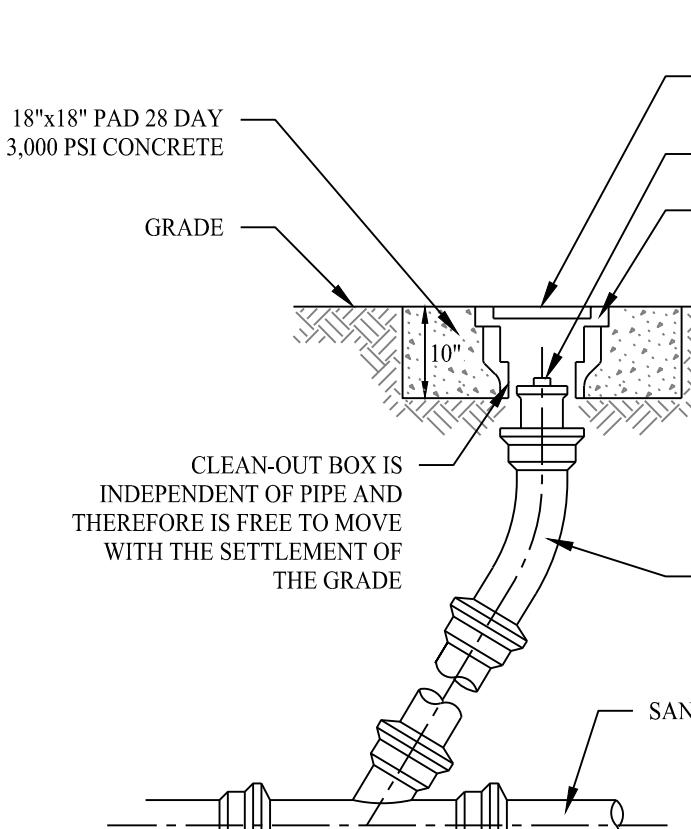


NOTE:
1. HOODS TO BE GRAY CAST IRON - SEE STANDARD SPECIFICATIONS



SANITARY CLEANOUT DETAILS

CLEAROUT DETAIL



The logo for SOLLI Engineering features a large, stylized 'S' composed of a black 'S' and a grey 'S' overlapping. To the right of the 'S' is the word 'SOLLI' in a large, bold, black serif font. Below 'SOLLI' is the word 'ENGINEERING' in a smaller, bold, black serif font. At the bottom of the logo, the words 'MONROE, CT | W. HARTFORD, CT | NORWOOD, MA' are written in a smaller, black sans-serif font.

Drawn By:	PDS
Checked By:	CJB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24



KEVIN M. SOLLI
CIVIL
NO. 51362
REGISTERED
PROFESSIONAL ENGINEER

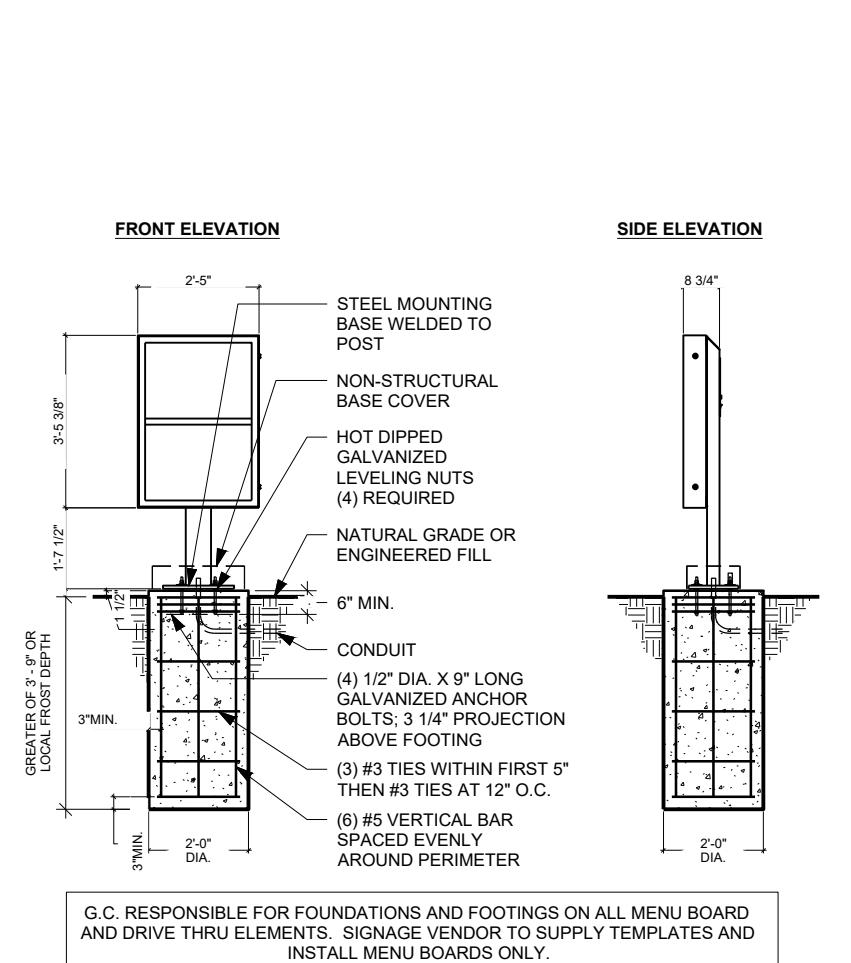
Kevin Solli, P.E.

project:

BRIDGE STREET LANDING

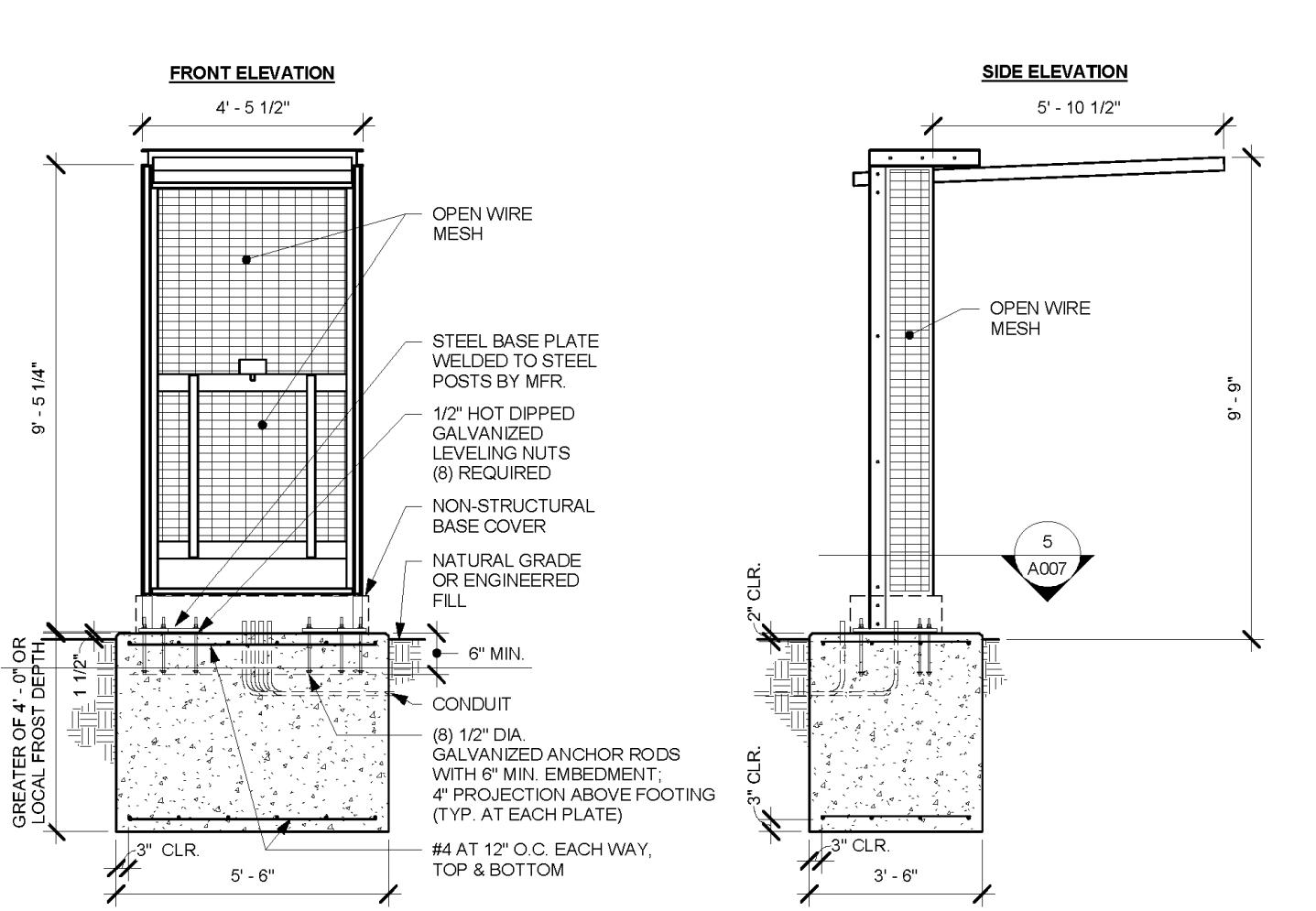
5 ARLINGTON STREET DRACUT, MASSACHUSETTS

Sheet Title:	Sheet #:
CONSTRUCTION DETAILS	3.03



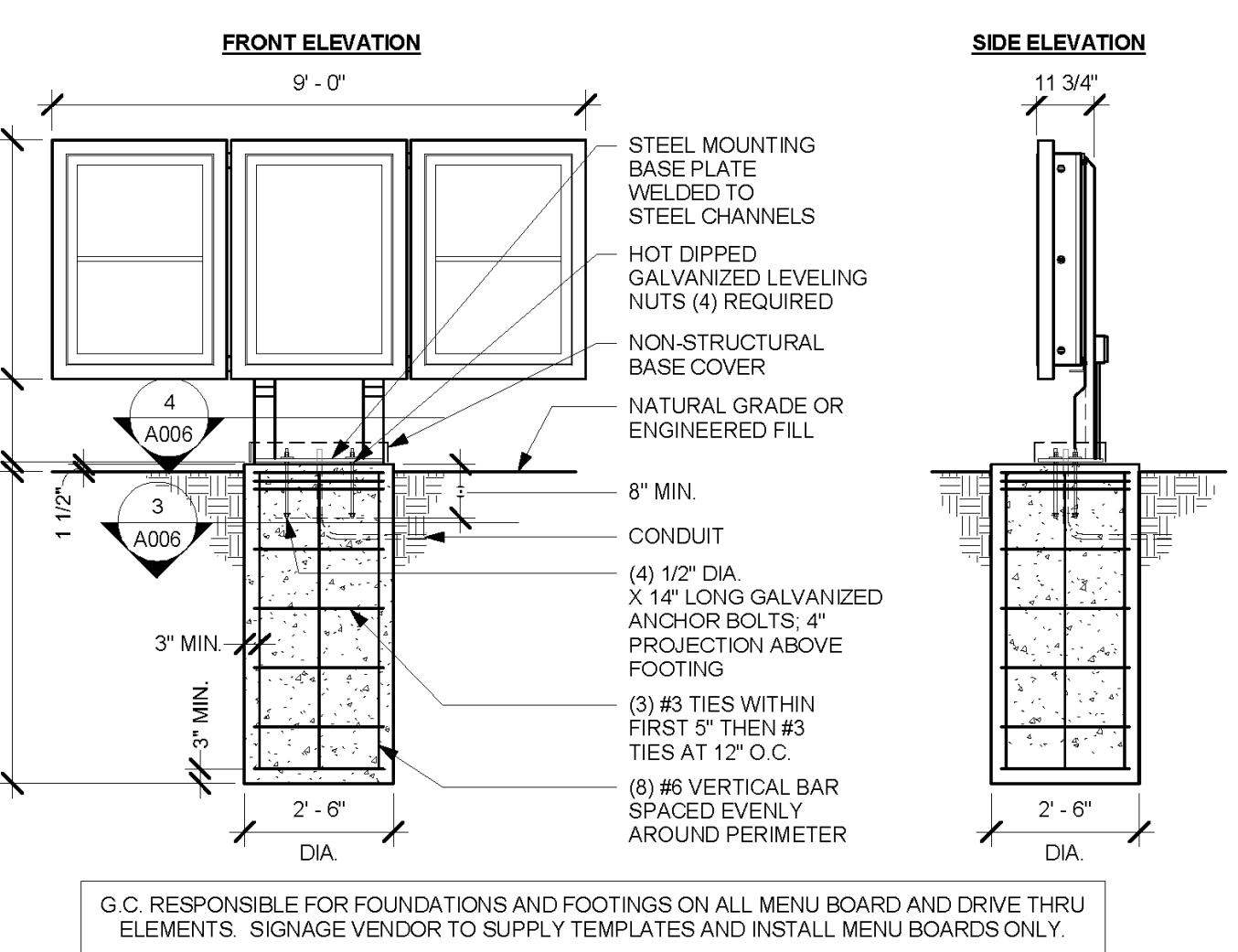
PRE-MENU BOARD

SCALE: NTS



ORDER POINT CANOPY

SCALE: NTS



5-PANEL MENU BOARD AND CANOPY

SCALE: NTS

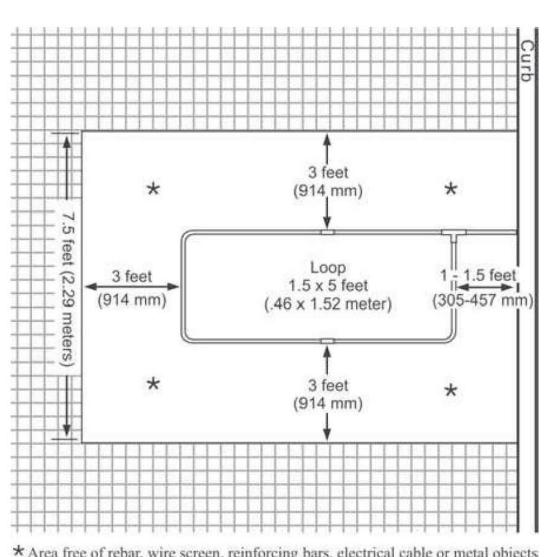


Figure 1. Loop area preparation

NOTE: PVC adhesive (not provided) must be applied wherever PVC couplings and pipe are fitted together.
 • Flatten the loop (folded for shipping) as shown in Figure 2 (1). Fit the pipe securely into the couplings (2). Lay the loop flat in the drive-thru lane and position it as shown in Figure 3. Elevate the loop on supports that are anchored to the ground, as shown in Figure 3. Level the loop so it will be 2 inches (51 mm) or less from the paved surface when the concrete is poured. Fasten the loop to the supports with wire, so it will not float when the concrete is poured.
 • Pull the loop wires through the sleeve coupling (3) and the PVC loop extension (4). Slide one end of the sleeve coupling (3) over the nipple on the corner fitting of the loop (5), and slide the end of the loop extension (4) into the other end of the sleeve coupling (3).
 • Pull the loop wires through the elbow coupling (6) and the remaining 2 foot (.61 meter) piece of PVC (7). Slide the two ends of 4 & 7) into the coupling (6), positioning the piece of PVC (7) so it points upward, out of the ground. Be certain it is next to and parallel to the outlets of the conduit coming into the speaker post or menu board from the building.

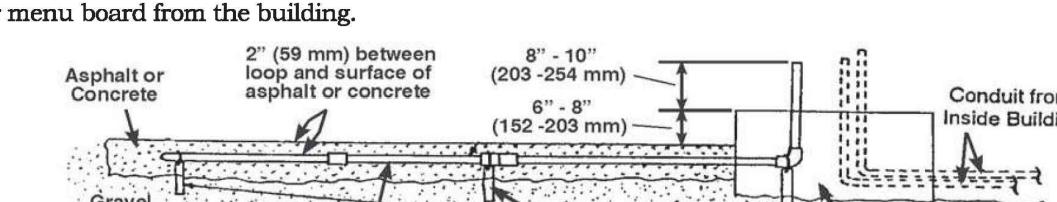
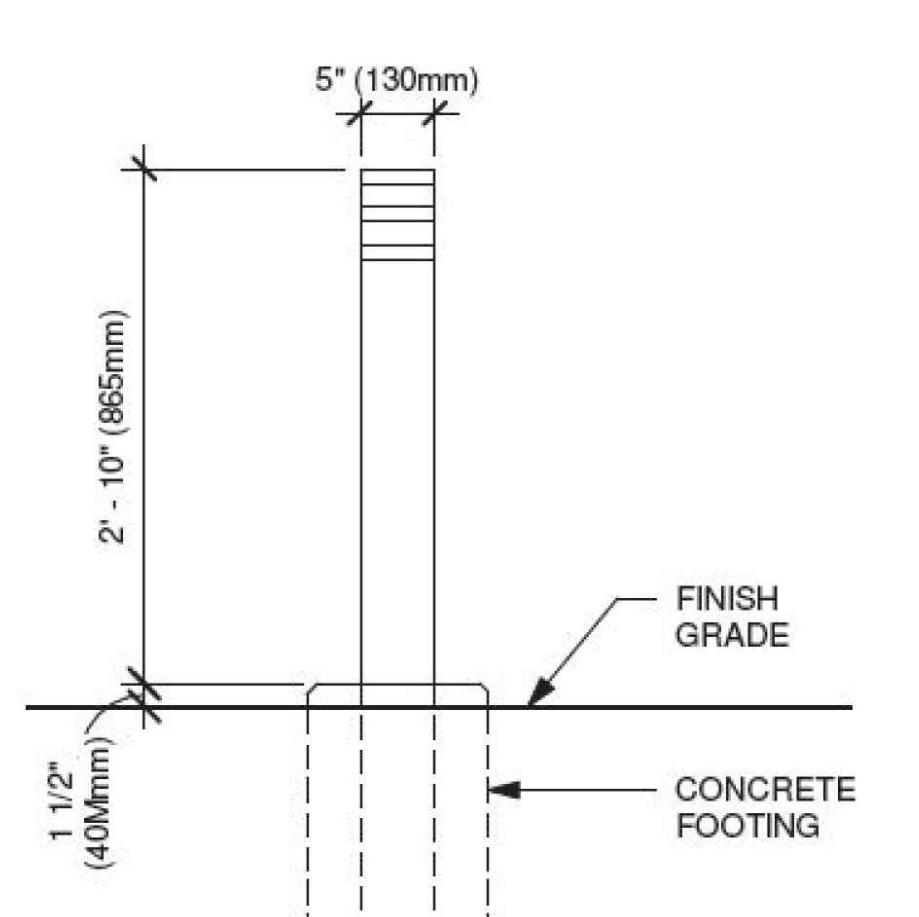


Figure 2. Loop layout and connections

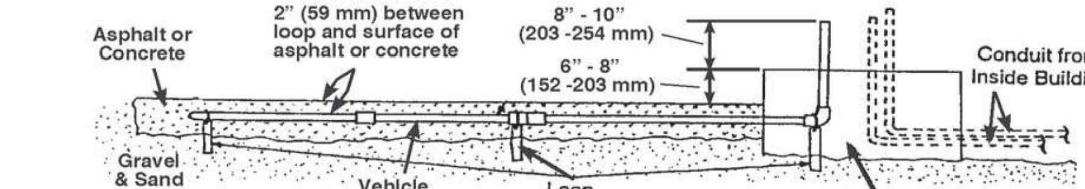


NON-ILLUMINATED BOLLARD DETAIL

SCALE: NTS

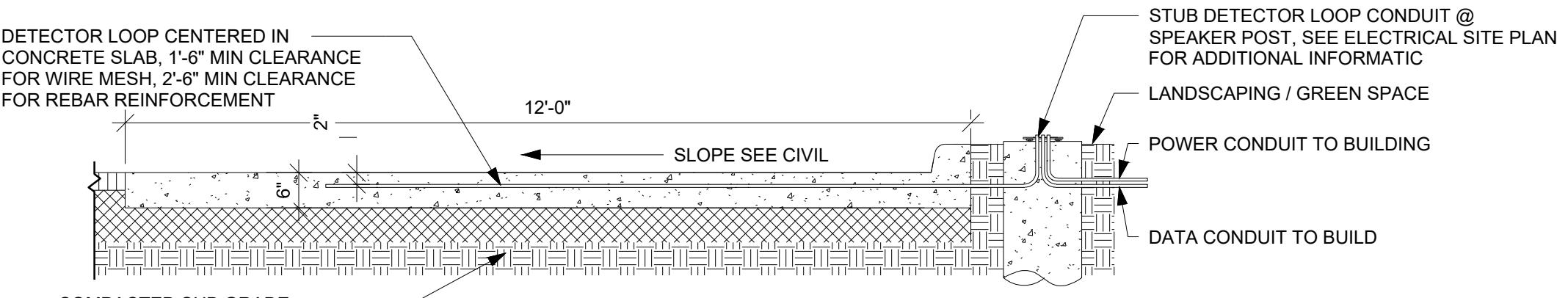
DTE - WAYFINDING GRAPHIC ARROW - SINGLE

SCALE: NTS



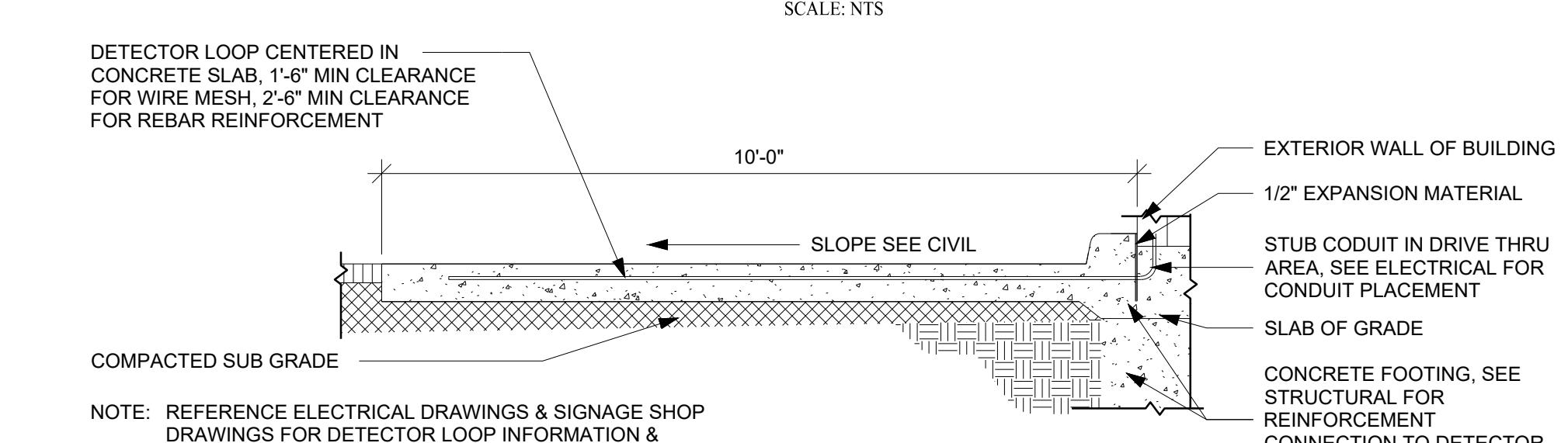
VEHICLE LOOP DETECTOR

SCALE: NTS



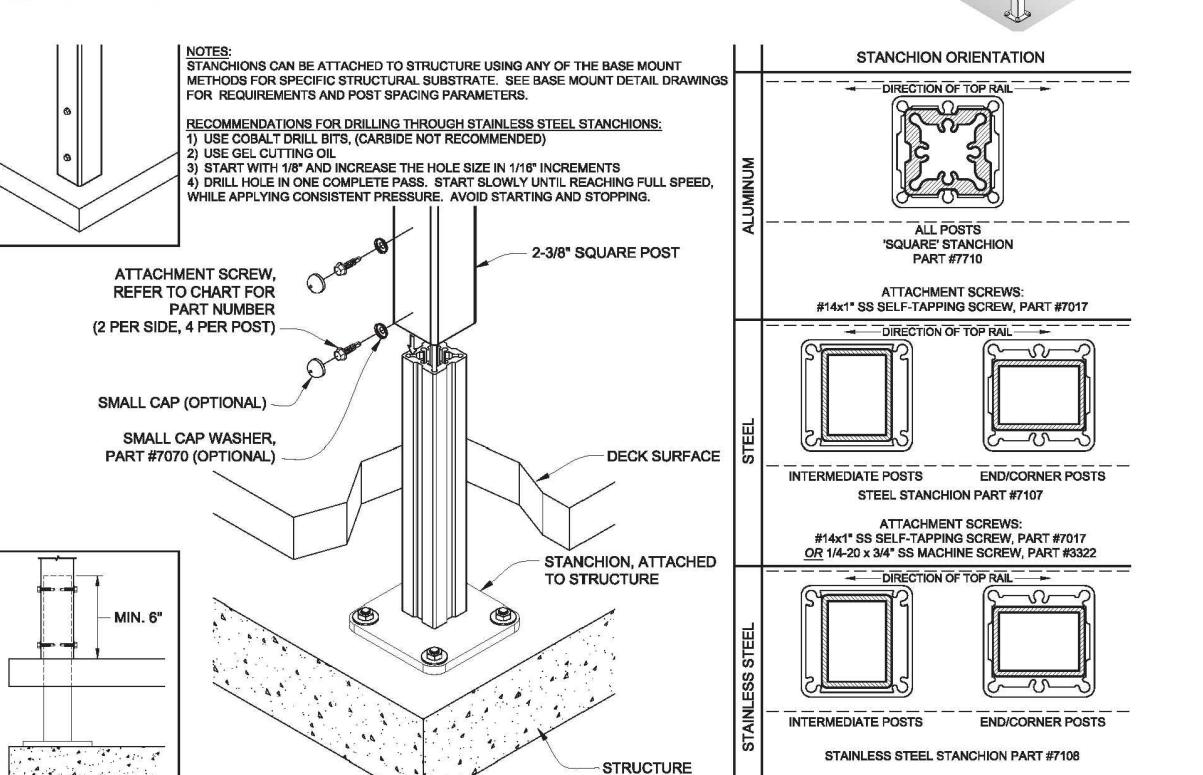
DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU ORDER POINT SECTION)

SCALE: NTS



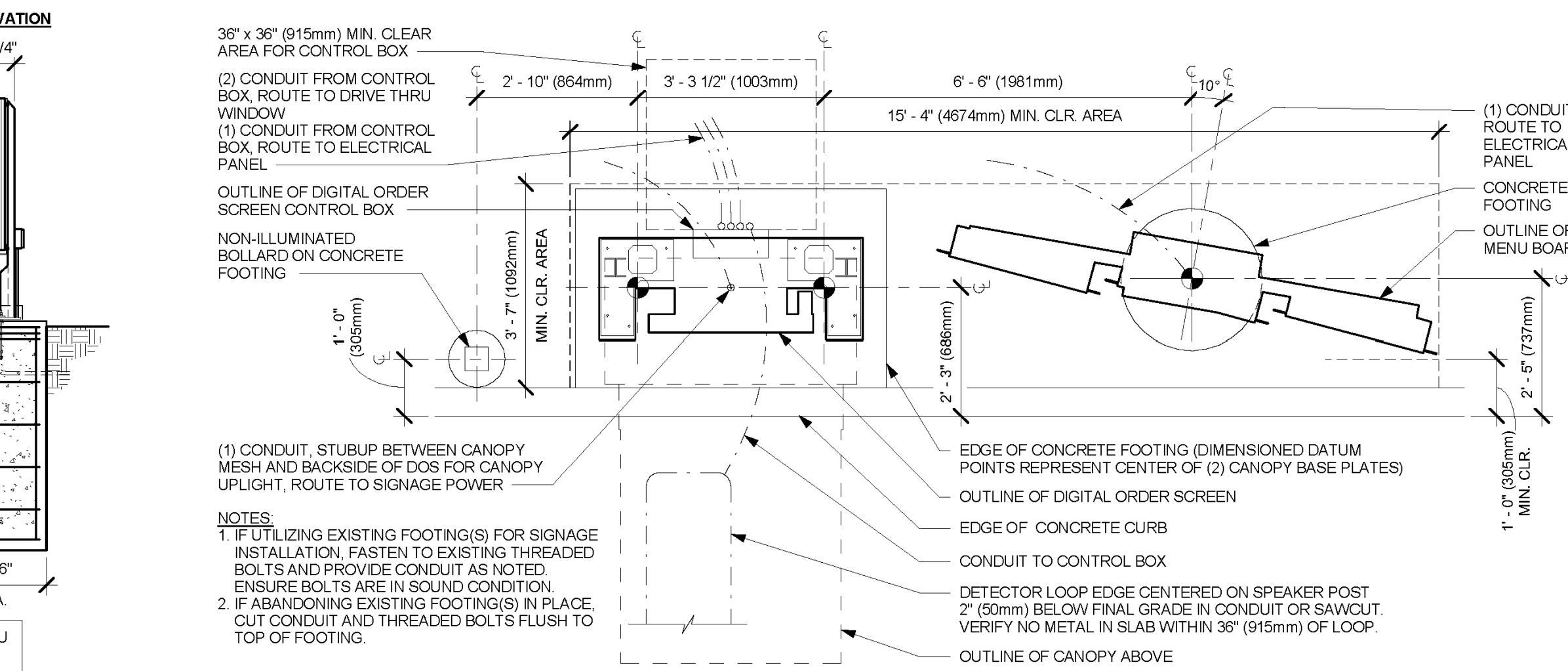
DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU SERVICE WINDOW SECTION)

SCALE: NTS



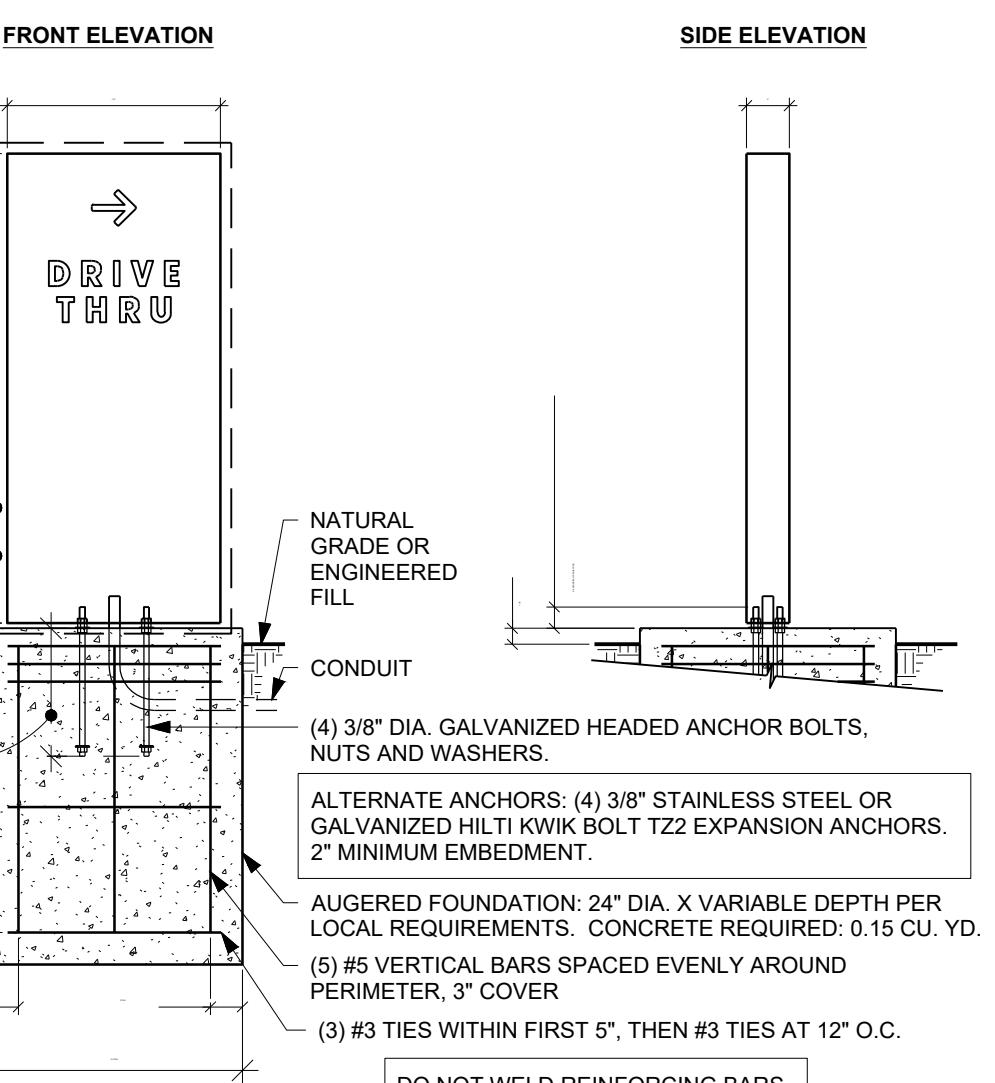
PATIO FENCE DETAIL (OR APPROVED EQUAL)

SCALE: NTS



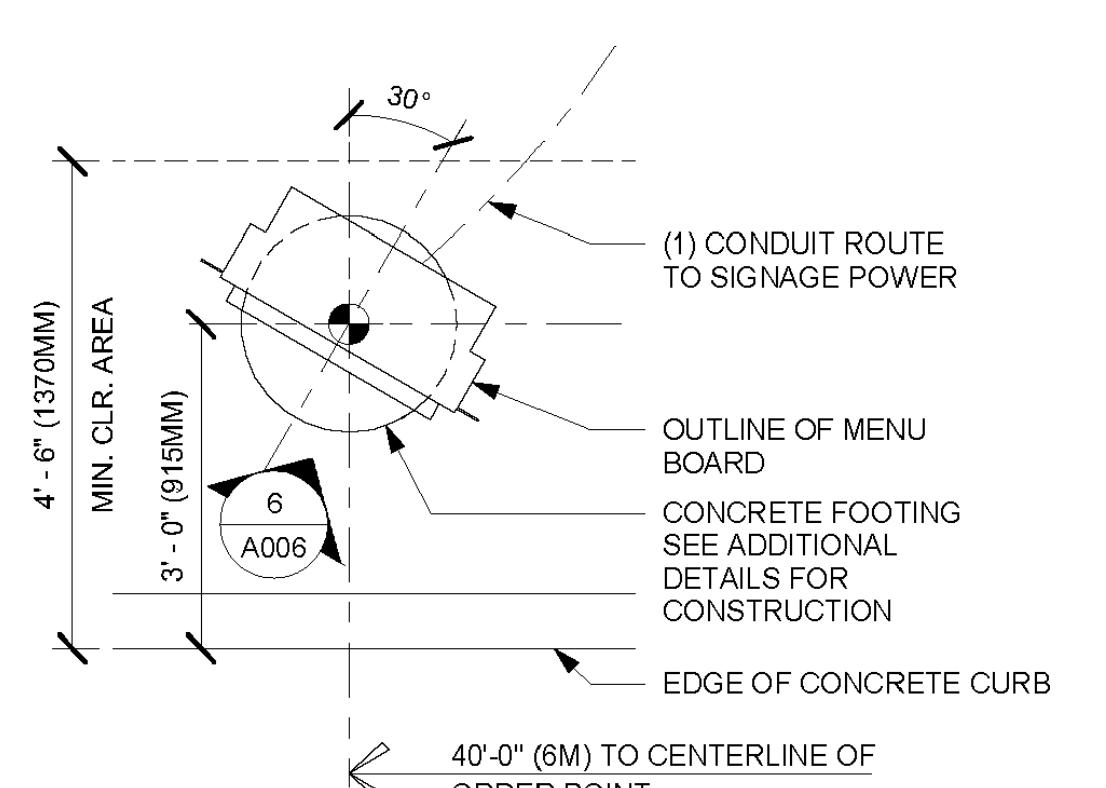
5-PANEL MENU BOARD AND CANOPY

SCALE: NTS



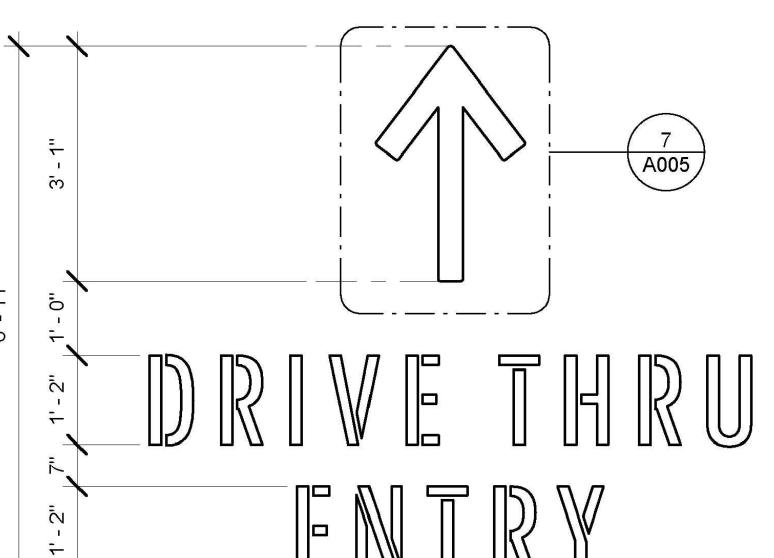
DT DIRECTIONAL SIGNAGE

SCALE: NTS



DTE - PRE-MENU 30 DEGREE

SCALE: NTS



DTE - WAYFINDING GRAPHIC ARROW - ENTRY

SCALE: NTS

Rev. #:	Date	Description
 SOLLI ENGINEERING MONROE, CT W. HARTFORD, CT NORWOOD, MA SOLLINEERING.COM T: (203) 880-5455 F: (203) 880-6995		
Drawn By:	PDS	 KEVIN M. SOLLI CIVIL NO. 51952 PROFESSIONAL ENGINEER Kevin Solli, P.E. MA 51952
Checked By:	CJB	
Approved By:	KMS	
Project #:	2203701	
Plan Date:	12/18/24	
Scale:	NTS	
Project:		
BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS		
Sheet Title:	Sheet #:	3.05
The endorsement above is not a determination by the planning board as to compliance with the zoning bylaws.		