

BRIDGE STREET LANDING PROPOSED COMMERCIAL REDEVELOPMENT

5 ARLINGTON STREET
DRACUT, MASSACHUSETTS 01826

PERMITTING PLAN SET

PREPARED FOR:

TWIN COAST
PROPERTIES, LLC

59 STILES ROAD SUITE 201
SALEM, NEW HAMPSHIRE 03079

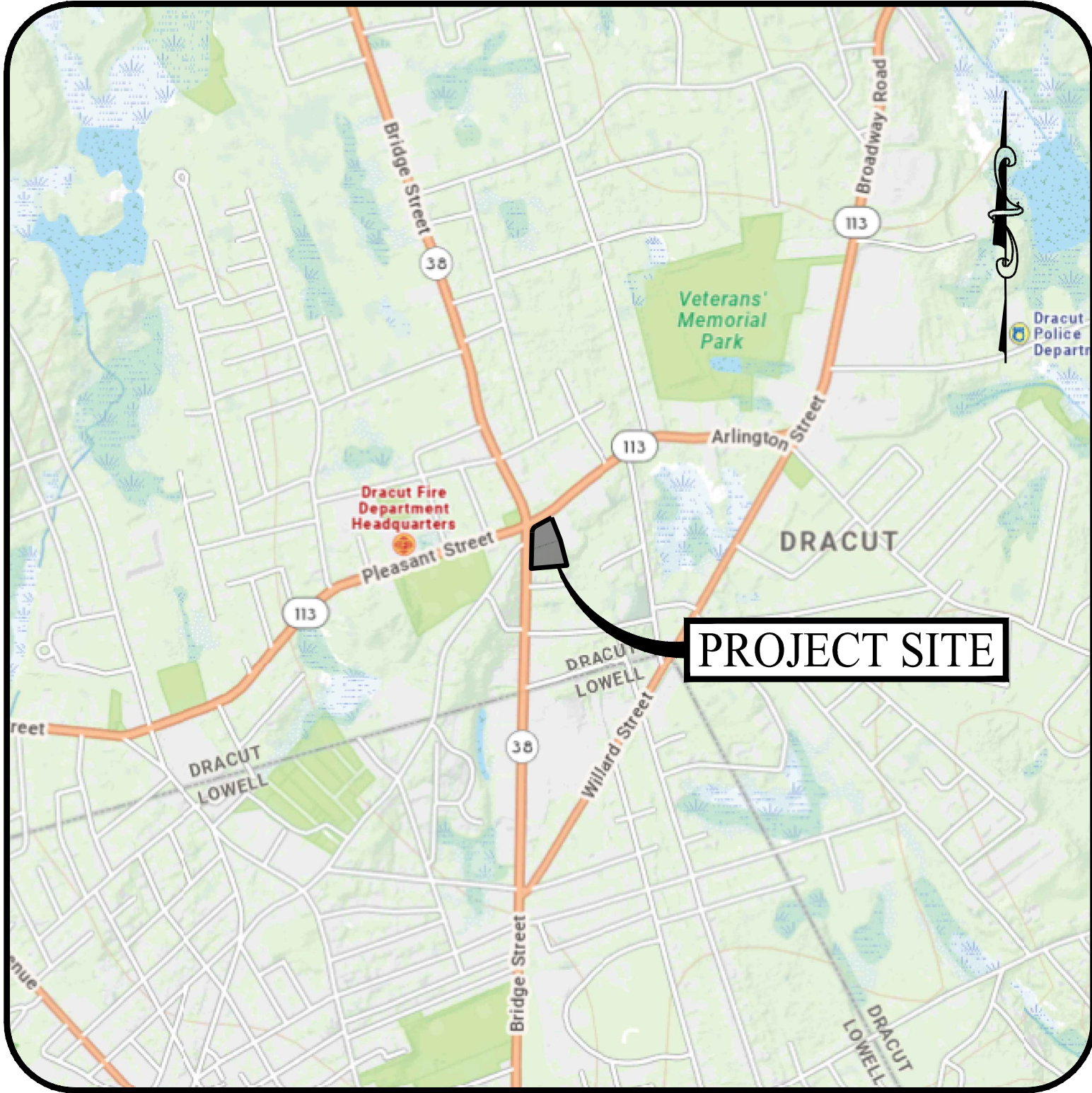
PREPARED BY:



MONROE, CT | WEST HARTFORD, CT | NORWOOD, MA

DRAWING LIST

CIVIL PLANS			
SHEET #	SHEET NAME	PLAN DATE	LATEST REVISION
0.00	COVER SHEET	12/09/24	04/02/25
1 of 1	EXISTING CONDITIONS	05/31/23	N/A
1 of 1	APPROVAL NOT REQUIRED	04/12/23	N/A
2.10	OVERALL SITE AREA MAP	12/09/24	N/A
2.11	SITE LAYOUT PLAN	12/09/24	03/27/25
2.21	GRADING & DRAINAGE PLAN	12/09/24	04/02/25
2.22	STORMWATER BASIN PROFILE	03/05/25	04/02/25
2.31	SOIL EROSION & SEDIMENT CONTROL PLAN	12/09/24	N/A
2.41	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	12/09/24	N/A
2.51	SITE UTILITY PLAN	12/09/24	N/A
2.61	LANDSCAPE PLAN	12/09/24	N/A
2.71	LIGHTING PLAN	12/09/24	N/A
3.01	CONSTRUCTION DETAILS	12/09/24	N/A
3.02	CONSTRUCTION DETAILS	12/09/24	03/27/25
3.03	CONSTRUCTION DETAILS	12/09/24	N/A
3.04	CONSTRUCTION DETAILS	12/09/24	03/05/25
3.05	CONSTRUCTION DETAILS	12/09/24	N/A



LOCATION MAP

SCALE: 1" = 1,000'

OWNER

CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
59 STILES ROAD, SUITE 201
SALEM, NEW HAMPSHIRE 03079
(603) 296-4930

APPLICANT

CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
59 STILES ROAD, SUITE 201
SALEM, NEW HAMPSHIRE 03079
(603) 296-4930

PROPERTY INFORMATION

ADDRESS: 5 ARLINGTON ST
TOWN OF DRACUT
MASSACHUSETTS 01826
PARCEL ID: 56-0-224
OWNER: CHRIS BAKER / PRESIDENT
TWIN COAST PROPERTIES, LLC
DEED: BK 10084 PG 2

SITE / CIVIL ENGINEER

KEVIN SOLLI, P.E., PTOE, CPESC, LEED AP BD+C
(ENGINEER OF RECORD)
LICENSE NO. 51952
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

LANDSCAPE DESIGNER

MARY BLAKBURN, PLA, CANP
SOLLI ENGINEERING, LLC
11 VANDERBILT AVENUE, SUITE 240
NORWOOD, MASSACHUSETTS 02062
(781) 352-8491

SURVEYOR OF RECORD

BRIAN C. FRANETOVICH, MA, PLS
LICENSE NO. 54258
NORTHEAST SURVEY CONSULTANTS
3 FERRY STREET STUDIO 1 EAST
EAST HAMPTON, MASSACHUSETTS 01027
(413) 203-5144

ARCHITECT

KEN BROWN
DESIGN +, INC.
1449 BARDTOWN ROAD, SUITE 200
LOUISVILLE, KENTUCKY 402040
(502) 454-5011

DRACUT PLANNING BOARD

DATE: _____
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE
PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

I, JAYNE BOISSONNEAULT, CLERK OF THE TOWN OF DRACUT,
HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY
THE DRACUT PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS
RECEIVED DURING THE TWENTY (20) DAYS NEXT FOLLOWING SUCH
RECEIPT AND RECORDING OF SAID NOTICE.
DATE: _____ TOWN CLERK: _____

3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description

Project:
**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: **COVER
SHEET** Sheet #: **0.00**

LEGEND

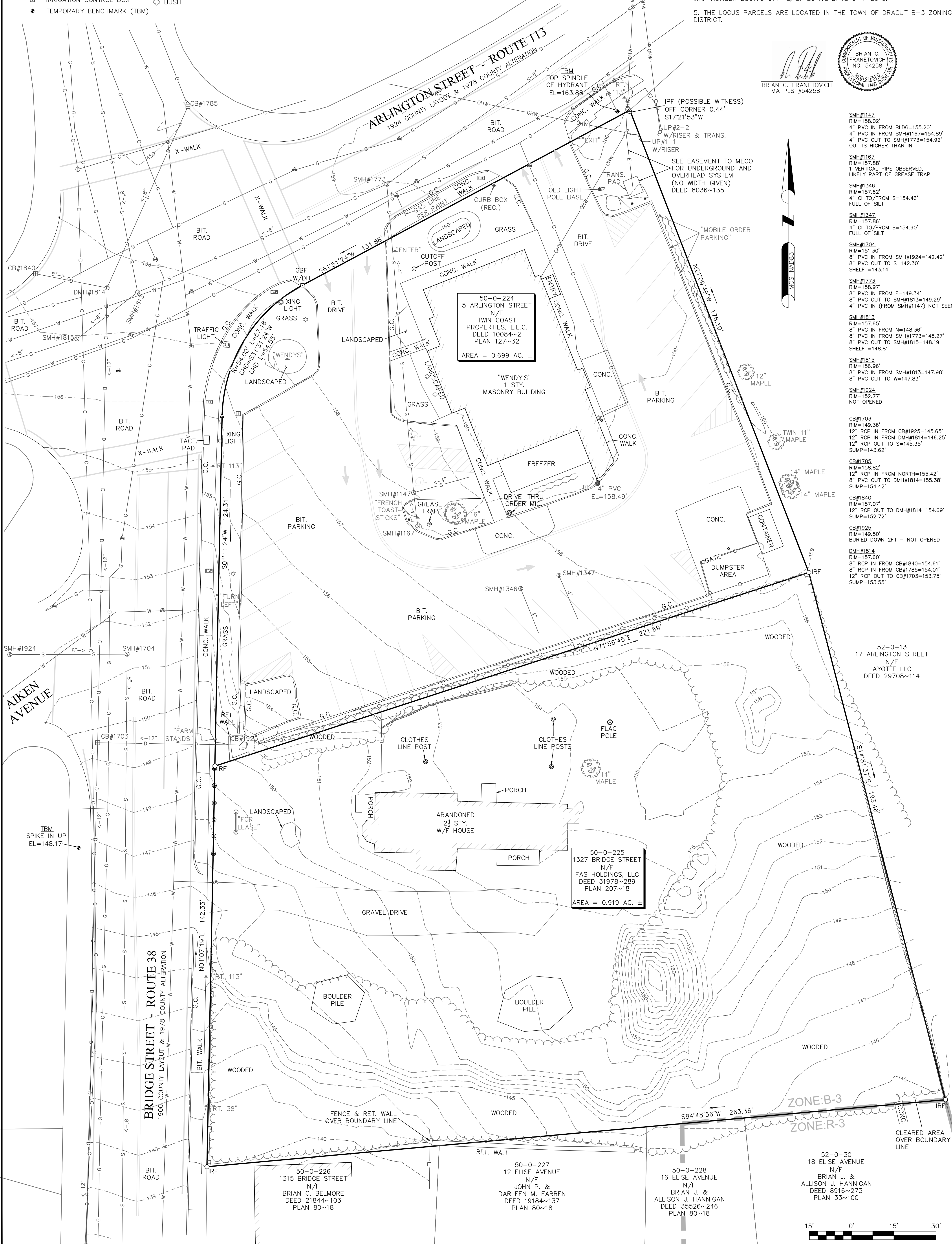
CONC.	CONCRETE	●	POST / BOLLARD	—	LOCUS PROPERTY LINE
BIT.	BITUMINOUS CONCRETE	⊙	FLAG POLE	—	ABUTTERS LINE
C/T	TELECOMMUNICATIONS	⬮	SIGN POST	—	BURIED UTILITY LINE
D	DRAIN	●	TREE	- - -	CONTOUR LINE
E	ELECTRIC	⊙	LIGHT POLE	—	OVERHEAD WIRES
G	GAS	⊙	CATCH BASIN	—	WHITE PAINT LINE
S	SEWER	⊙	MANHOLE	—	YELLOW PAINT LINE
W	WATER	⊙	GAS / WATER GATE VALVE	—	TREELINE
G.C.	GRANITE CURB	⊙	HYDRANT	—	ZONING LINE
⊠	TRAFFIC CONTROL BOX	⊙	UTILITY POLE	—	HEDGE ROW
⊠	IRRIGATION CONTROL BOX	⊙	BUSH		
◆	TEMPORARY BENCHMARK (TBM)				

- NOTES:
1. FIELD SURVEY BY EDM TOTAL STATION & RTK GPS IN DECEMBER 2022 AND JANUARY 2023.
 2. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND), THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATIONS TAKEN ON SITE.
 3. THE LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD AND OPENING DRAIN AND SEWER STRUCTURES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF THESE UTILITIES AND MAY NOT SHOW ALL OF THE UTILITIES WHICH EXIST WITHIN THE PREMISES SURVEYED. CONTACT DIG-SAFE AT 1-888-344-7233 BEFORE EXCAVATION.
 4. ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS, THE SURVEY AREA IS DESIGNATED AS ZONE X (AREAS OF MINIMAL FLOODING). MAP NUMBER 25017C 0141 E, EFFECTIVE DATE 6-4-2010.
 5. THE LOCUS PARCELS ARE LOCATED IN THE TOWN OF DRACUT B-3 ZONING DISTRICT.

BRIAN C. FRANETOVICH
MA PLS #54258



- SMH#1147
RIM=158.02'
4" PVC IN FROM BLDG=155.20'
4" PVC IN FROM SMH#1167=154.89'
4" PVC OUT TO SMH#1773=154.92'
OUT IS HIGHER THAN IN
- SMH#1167
RIM=157.88'
1 VERTICAL PIPE OBSERVED,
LIKELY PART OF GREASE TRAP
- SMH#1346
RIM=157.62'
4" CI TO/FROM S=154.46'
FULL OF SILT
- SMH#1347
RIM=157.86'
4" CI TO/FROM S=154.90'
FULL OF SILT
- SMH#1704
RIM=151.30'
8" PVC IN FROM SMH#1924=142.42'
8" PVC OUT TO S=142.30'
SHELF =143.14'
- SMH#1773
RIM=158.97'
8" PVC IN FROM E=149.34'
8" PVC OUT TO SMH#1813=149.29'
4" PVC IN (FROM SMH#1147) NOT SEEN
- SMH#1813
RIM=157.65'
8" PVC IN FROM N=148.36'
8" PVC IN FROM SMH#1773=148.27'
8" PVC OUT TO SMH#1815=148.19'
SHELF =148.81'
- SMH#1815
RIM=156.96'
8" PVC IN FROM SMH#1813=147.98'
8" PVC OUT TO W=147.83'
- SMH#1924
RIM=152.77'
NOT OPENED
- CB#1703
RIM=149.36'
12" RCP IN FROM CB#1925=145.65'
12" RCP IN FROM DMH#1814=146.25'
12" RCP OUT TO S=145.35'
SUMP=143.62'
- CB#1785
RIM=156.82'
12" RCP IN FROM NORTH=155.42'
8" PVC OUT TO DMH#1814=155.38'
SUMP=154.42'
- CB#1840
RIM=157.07'
12" RCP OUT TO DMH#1814=154.69'
SUMP=152.72'
- CB#1925
RIM=149.50'
BURIED DOWN 2FT - NOT OPENED
- DMH#1814
RIM=157.60'
8" RCP IN FROM CB#1840=154.61'
8" RCP IN FROM CB#1785=154.01'
12" RCP OUT TO CB#1703=153.75'
SUMP=153.55'



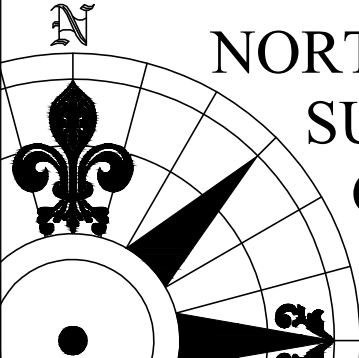
SHEET NO. 1 OF 1

PLAN OF LAND IN DRACUT, MA
5 ARLINGTON ST. & 1327 BRIDGE ST.

PREPARED FOR
SOLLI ENGINEERING, LLC

SURVEYOR:	BCF	ENGINEER:	—
DRAFTING:	JDG JED BCF	DESIGN:	—
FIELD WORK:	NAE	HORZ. SCALE:	1" = 15'
PROJECT NUMBER:	22-257	VERT. SCALE:	—
DRAWING NAME:	22-257.DWG	DATE:	5-31-2023

EXISTING
CONDITIONS



NORTHEAST
SURVEY
CONSULTANTS

3 FERRY STREET
STUDIO 1 EAST
EASTHAMPTON, MA 01027
(413) 203-5144

PLANNING BOARD
DRACUT, MASSACHUSETTS

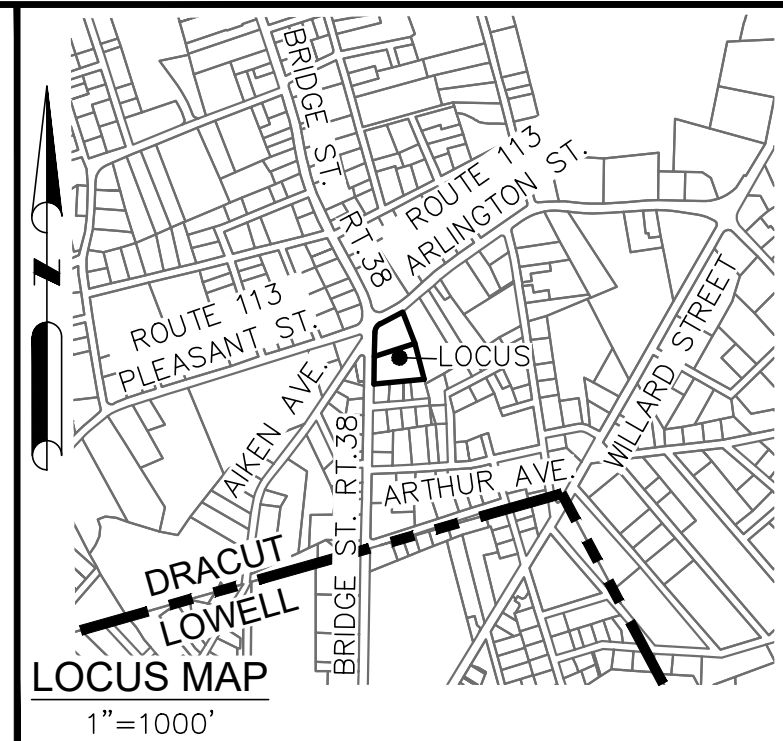
APPROVAL UNDER THE SUBDIVISION
CONTROL LAW NOT REQUIRED

DATE: _____

THE BOARD'S ENDORSEMENT OF THE
PLAN AS NOT REQUIRING APPROVAL
UNDER THE SUBDIVISION CONTROL LAW
DOES NOT GIVE LOTS OR PARCELS ANY
STANDING UNDER THE TOWN OF DRACUT
ZONING BYLAW.

RESERVED FOR REGISTRY USE ONLY

ARLINGTON STREET - ROUTE 113
PUBLIC - 1924 COUNTY LAYOUT & 1978 COUNTY ALTERATION
R.O.W. WIDTH 50' PAVEMENT WIDTH 33'-38'



LEGEND

- LOCUS PROPERTY LINE
- ABUTTERS LINE
- OVERHEAD WIRES
- TREELINE
- ZONING LINE
- HEDGE ROW
- STOCKADE FENCE
- CHAIN LINK FENCE
- UNDERGROUND ELECTRIC LINE
- EDGE OF PAVEMENT
- CONC. CONCRETE
- GBF GRANITE BOUND FOUND
- OIPF/IRF IRON PIPE/ROD FOUND
- ▲ CALCULATED POINT
- ⊙ POST
- ☆ LIGHT POLE
- ⚡ UTILITY POLE

BRIDGE STREET - ROUTE 38
PUBLIC - 1900 COUNTY LAYOUT & 1978 COUNTY ALTERATION
R.O.W. WIDTH 50' PAVEMENT WIDTH 36'-42'

50-0-224
5 ARLINGTON STREET
N/F
TWIN COAST PROPERTIES, L.L.C.
DEED 10084~2
PLAN 127~32
AREA = 30,456 SQ. FT. ±
(0.699 AC. ±)
TO BE COMBINED
WITH PARCEL 50-0-225
TO FORM LOT 1

LOT 1
THE COMBINATION OF PARCELS
50-0-224 & 50-0-225
AREA = 70,508 SQ. FT. ±
(1.618 AC. ±)
TOTAL FRONTAGE ON ARLINGTON ST. = 131.88'
TOTAL FRONTAGE ON BRIDGE ST. = 266.64'
MINIMUM LOT WIDTH = 174.29'

50-0-225
1327 BRIDGE STREET
N/F
FAS HOLDINGS, LLC
DEED 31978~289
PLAN 207~18
AREA = 40,052 SQ. FT. ±
(0.919 AC. ±)
TO BE CONVEYED TO
TWIN COAST PROPERTIES, LLC
AND COMBINED WITH
PARCEL 50-0-224
TO FORM LOT 1

50-0-226
1315 BRIDGE STREET
N/F
BRIAN C. BELMORE
DEED 21844~103
PLAN 80~18

50-0-227
12 ELISE AVENUE
N/F
JOHN P. &
DARLEEN M. FARREN
DEED 19184~137
PLAN 80~18

50-0-228
16 ELISE AVENUE
N/F
BRIAN J. &
ALLISON J. HANNIGAN
DEED 35526~246
PLAN 80~18

52-0-30
18 ELISE AVENUE
N/F
BRIAN J. &
ALLISON J. HANNIGAN
DEED 8916~273
PLAN 33~100

- NOTES:
- FIELD SURVEY BY EDM TOTAL STATION & RTK GPS IN DECEMBER 2022 AND JANUARY 2023.
 - THE HORIZONTAL DATUM IS NAD83 (2011) MASS. MAINLAND, US SURVEY FT.
 - THE LOCATIONS OF UTILITIES SHOWN HEREON ARE THE RESULT OF SURFACE EVIDENCE AS LOCATED BY FIELD SURVEY, PLANS OF RECORD AND OPENING DRAIN AND SEWER STRUCTURES. THIS PLAN DOES NOT NECESSARILY DEPICT THE EXACT LOCATION OF THESE UTILITIES AND MAY NOT SHOW ALL OF THE UTILITIES WHICH EXIST WITHIN THE PREMISES SURVEYED. CONTACT DIG-SAFE AT 1-888-344-7233 BEFORE EXCAVATION.
 - THE LOCUS PARCELS ARE LOCATED IN THE TOWN OF DRACUT B-3 ZONING DISTRICT.

I HEREBY CERTIFY TO THE BEST OF MY PROFESSIONAL KNOWLEDGE,
INFORMATION AND BELIEF THAT:

THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND
REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF
MASSACHUSETTS.

BRIAN C. FRANETOVICH
MA PLS #54258



SHEET NO.
1
OF
1

PLAN OF LAND IN DRACUT, MA
5 ARLINGTON ST. & 1327 BRIDGE ST.
MIDDLESEX NORTH REGISTRY
PREPARED FOR
TWIN COAST PROPERTIES, L.L.C.

SURVEYOR:	BCF	ENGINEER:	-
DRAFTING:	JDG JED BCF	DESIGN:	-
FIELD WORK:	NAE	HORZ. SCALE:	1" = 15'
PROJECT NUMBER:	22-257	VERT. SCALE:	-
DRAWING NAME:	22-257 ANR.DWG	DATE:	4-12-2023

APPROVAL
NOT
REQUIRED

NORTHEAST
SURVEY
CONSULTANTS
3 FERRY STREET
STUDIO 1 EAST
EASTHAMPTON, MA 01027
(413) 203-5144



GENERAL NOTES

1. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT FOR THIS PROJECT.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET", DATED JANUARY 26, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
 - 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND); THE VERTICAL DATUM IS NAVD83 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
 - 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
 - 3.3. BACKGROUND AERIAL MAPPING DOWNLOADED FROM GOOGLE EARTH PRO.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62+ ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

SIGHT DISTANCE NOTES

1. INTERSECTION SIGHT DISTANCE MEASURED 15 FEET FROM THE SHOULDER LINE.
2. INTERSECTION SIGHT DISTANCE FOR ARLINGTON STREET (ROUTE 113) BASED ON DESIGN SPEED OF 30 MPH (POSTED SPEED LIMIT OF 25 MPH PLUS 5).
3. INTERSECTION SIGHT DISTANCE LOOKING LEFT FROM SITE DRIVEWAY ONTO ARLINGTON STREET (ROUTE 113) EXTENDS THROUGH THE INTERSECTION OF ARLINGTON STREET AND BRIDGE STREET (ROUTE 38). IT IS ANTICIPATED THAT TURNING VEHICLES WILL BE TRAVELING LESS THAN 30 MPH AND ADEQUATE SIGHT DISTANCE WILL BE PROVIDED TO THE INTERSECTION.

CERTIFIED ABUTTERS LIST

1.	457	AIKEN AVENUE	RAHIMIAN DAVID	
2.	461	AIKEN AVENUE	DESOUZA MARCELO CEZARIO	
3.	465	AIKEN AVENUE	ENO KAREN W.	JENNIFER A. ELLIOTT
4.	466	AIKEN AVENUE	BELANGER RICHARD (JTRS)	DEBORAH MEADOWS
5.	471	AIKEN AVENUE	NIEMASZYK SANDRA J., TRUSTEE	CENTRE POINT REALTY TRUST
6.	482	AIKEN AVENUE	AIKEN AVENUE RE, LLC	
7.	33	ARLINGTON STREET	CAMPBELL, SHIANA M	
8.	5	ARLINGTON STREET	TWIN COAST PROPERTIES LLC	VALADE, MATTHEW H
9.	10	ARLINGTON STREET	CHRIST CHURCH UNITED	
10.	17	ARLINGTON STREET	AYOTTE LLC	
11.	21	ARLINGTON STREET	AYOTTE LLC	
12.	22	ARLINGTON STREET	FIRST PARISH DRACUT	
13.	23	ARLINGTON STREET	AYOTTE LLC	
14.	25	ARLINGTON STREET	AYOTTE LLC	
15.	28	ARLINGTON STREET	MOSES GRIELEY PARKER LIBRARY	
16.	39	ARLINGTON STREET	ISAAC PROPERTY INVESTMENTS LLC	
17.	1305	BRIDGE STREET	DAVIS TIMOTHY B & AMBER J., TRUSTEES	DAVIS FAMILY TRUST
18.	1310	BRIDGE STREET	PAPANOTAS FAMILY, LLC	
19.	1315	BRIDGE STREET	BELMORE BRIAN C.	
20.	1346	BRIDGE STREET	THE INHABITANTS OF THE TOWN OF DRACUT	
21.	1358	BRIDGE STREET	MINIER FLAVIA M.	
22.	1362	BRIDGE STREET	PAUL R. VACHON, JR.	SONIA M. MARIN QUINTERO
23.	1366	BRIDGE STREET	ESPINOSA SERGIO D. (TE)	
24.	15	ELISE AVENUE	DELBERT STREET	
25.	11	ELISE AVENUE	DEVEAU STEPHEN M. (JT)	KATHRYN KINNEY
26.	12	ELISE AVENUE	FARREN JOHN P. (TE)	DARLENE M. FARREN
27.	16	ELISE AVENUE	HANNIGAN, BRIAN (TE)	HANNIGAN, ALLISON
28.	17	ELISE AVENUE	SOLIMINE, STEPHEN	SOLIMINE, MARGARET
29.	18	ELISE AVENUE	HANNIGAN BRIAN J. (TE)	ALLISON J HANNIGAN
30.	29	ELISE AVENUE	FARLEY ROBERT M (LE)	CARMEL A. FARLEY (LE)
31.	23	GRIGGS STREET	JONATAN PALMER	
32.	27	GRIGGS STREET	FALCON JUAN J (TE)	MARIE C FALCON
33.	31	GRIGGS STREET	AYOTTE LLC	
34.	531	PLEASANT STREET	NOLAN JACLYN	
35.	538	PLEASANT STREET	COSTOS CHARLES E. IND.	

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	ZONE LINE
	300' PROPERTY RADIUS
	INTERSECTION SIGHT DISTANCE (ISD)

DRACUT PLANNING BOARD

DATE:

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

Rev. #: Date Description

Graphic Scale:



MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 880-5455 | F: (203) 880-9695

Drawn By: STM

Checked By: CJB

Approved By: KMS

Project #: 22203701

Plan Date: 12/18/24

Scale: 1" = 40'



Kevin Solli, P.E.
MA 51952

Project:
**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title:

**OVERALL
SITE AREA
MAP**

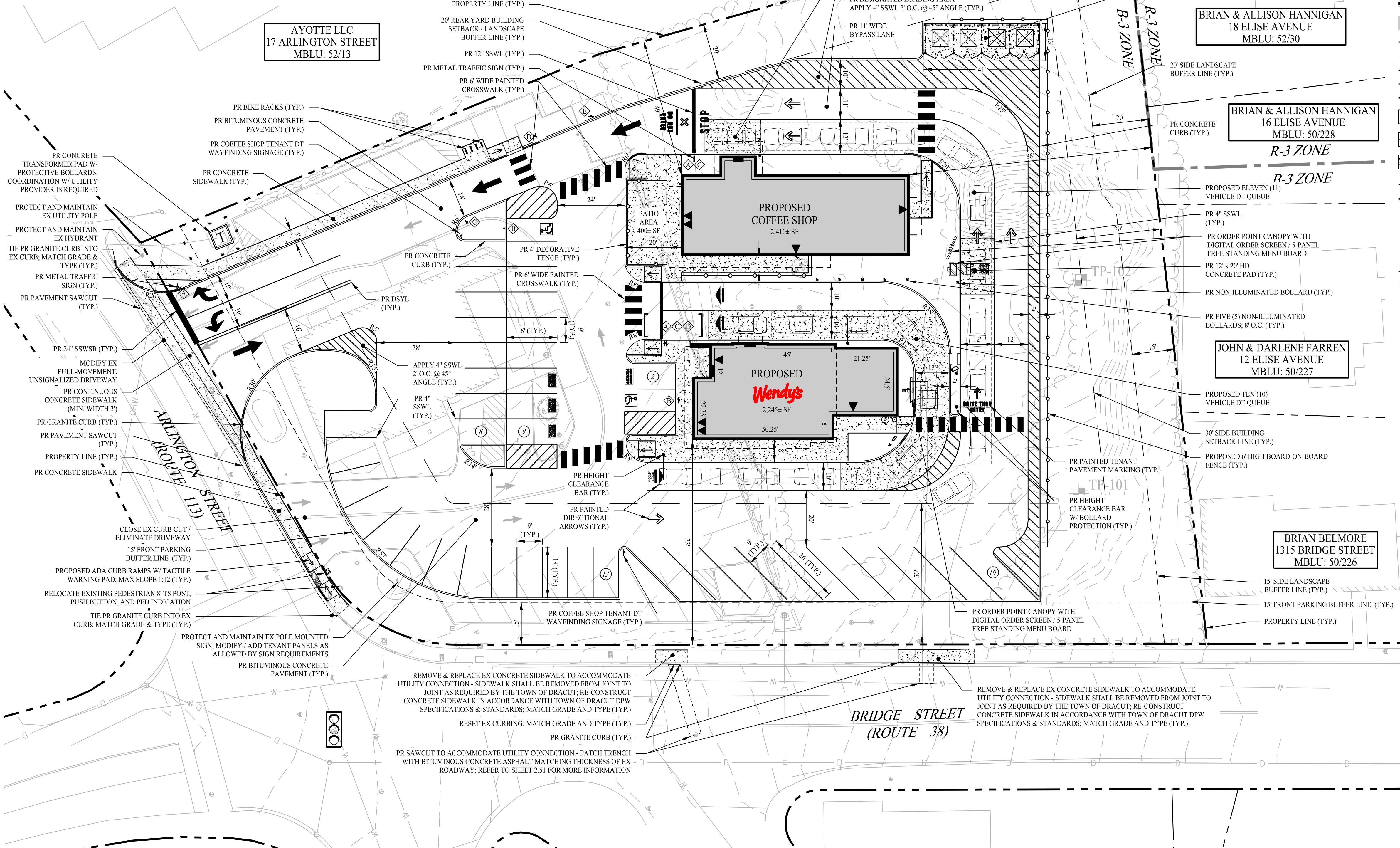
Sheet #:

2.10

REQUESTED WAIVERS

BELOW ARE THE REQUESTED WAIVERS UNDER SECTIONS 2.3.16 & 2.4.8 OF THE TOWN OF DRACUT ZONING BYLAWS:

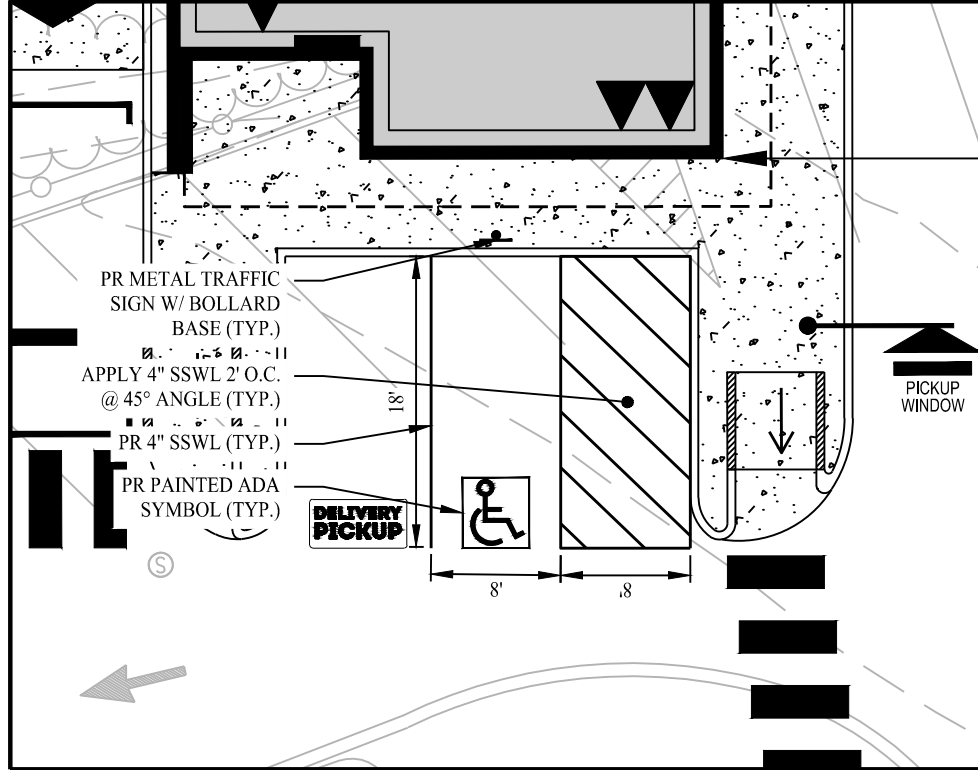
- 6.1.6 "TABLE OF OFF-STREET PARKING REQUIREMENTS"
 - REDUCTION FROM 93 REQUIRED PARKING SPACES TO 42 SPACES, AS PROPOSED. THE PROPOSED 42 PARKING SPACES SATISFY ITE PARKING GENERATION RATES.
- 6.1.8.1.D "PARKING DIMENSIONS"
 - REDUCTION FROM THE REQUIRED WIDTH AND DEPTH OF A PARKING SPACE (10' x 20') TO THE PROPOSED WIDTH AND DEPTH (9' x 18'). REDUCTION REQUESTED CONSISTENT WITH INDUSTRY STANDARDS AND STANDARD ENGINEERING PRACTICES.
 - REDUCTION FROM THE REQUIRED WIDTH AND DEPTH OF A DESIGNATED HANDICAP PARKING SPACE (12' x 19') TO THE PROPOSED WIDTH AND DEPTH (9' x 18'). REDUCTION REQUESTED CONSISTENT WITH FEDERAL ADA PARKING SPACE REQUIREMENTS.



PARKING SUMMARY

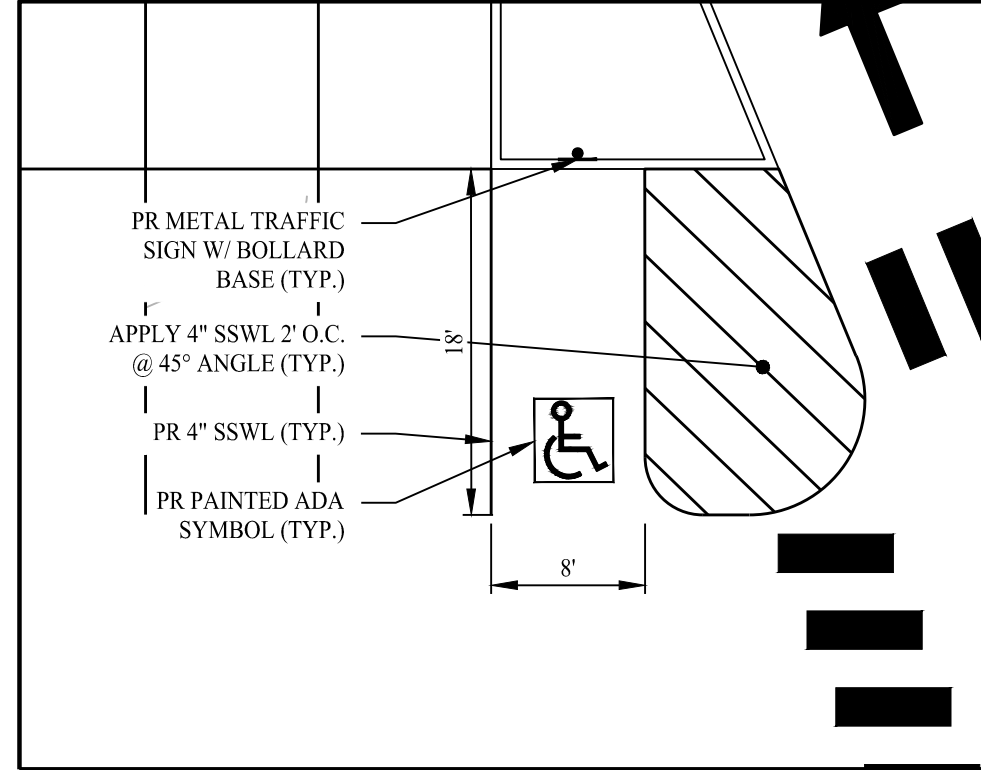
EXISTING CONDITIONS						
EXISTING DEVELOPMENT	GFA	TOWN REQUIREMENT	TOWN REQ.	ITE REQUIREMENT ⁽¹⁾	ITE REQ.	SOLLI PARKING STUDY ⁽²⁾
WENDY'S	3,150± SF	1 SPACE PER 50 SF OF GFA	63	9.18 SPACES PER 1,000 SF OF GFA	29	16
TOTAL			63		29	16
PROPOSED CONDITIONS						
PROPOSED DEVELOPMENT	GFA	TOWN REQUIREMENT	TOWN REQ.	ITE REQUIREMENT ⁽¹⁾	ITE REQ.	SOLLI REC. REQ. ⁽³⁾
WENDY'S	2,245± SF /	1 SPACE PER 50 SF OF GFA	45	12.19 SPACES PER 1,000 SF OF GFA	27	16
COFFEE SHOP	2,410± SF /	1 SPACE PER 50 SF OF GFA	48	10.75 SPACES PER 1,000 SF OF GFA	26	26
TOTAL			93		53	42

- NOTES:
- PROPOSED PARKING RATES WERE TAKEN FROM THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE) PARKING GENERATION MANUAL, 6TH EDITION, UTILIZING THE 85TH PERCENTILE INDUSTRY RATE PER 1,000 SF OF GFA WHILE ALSO CONSIDERING SAMPLE SIZE / STANDARD DEVIATION.
 - THE DEVELOPMENT PROPOSES EIGHT (8) BICYCLE PARKING SPACES IN ADDITION TO THE FORTY-TWO (42) VEHICLE PARKING SPACES.
 - PARKING STUDY CONDUCTED BY SOLLI ENGINEERING IN JANUARY 2024.
 - THE COFFEE SHOP WILL REQUIRE APPROXIMATELY 26 SPACES; BASES ON THE WENDY'S 16 SPACE MAXIMUM DEMAND, THE TOTAL OF 42-SPACES SHALL BE SUFFICIENT.



ADA PARKING ENLARGEMENT

SCALE: 1" = 10'



ZONING COMPLIANCE TABLE			
UNDERLYING ZONE: BUSINESS (B-3) ZONING DISTRICT OVERLAY ZONE: DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT			
ZONING REQUIREMENT (B-3)	REQUIREMENT	EXISTING CONDITIONS	PROPOSED CONDITIONS
MINIMUM PARCEL AREA	30,000 SF	70,508± SF	70,508± SF
MINIMUM FRONTAGE	150 FT	313.7± FT ⁽¹⁾	313.7± FT ⁽¹⁾
MINIMUM LOT WIDTH	20 FT	> 20 FT	> 20 FT
MINIMUM FRONT YARD BUILDING SETBACK	50 FT	21.6± FT	72.58± FT
MINIMUM SIDE YARD BUILDING SETBACK	30 FT	96.8± FT	86.42± FT
MINIMUM REAR YARD BUILDING SETBACK	20 FT	48.7± FT	45.05± FT
MAXIMUM BUILDING HEIGHT	3 STORIES / 40 FT	< 40 FT	< 40 FT

- NOTES:
- A LOT HAVING FRONTAGE ON TWO OR MORE STREETS SHALL HAVE TWO OR MORE FRONT YARDS, EACH OF WHICH SHALL COMPLY WITH THE REQUIREMENTS OF THE FRONT YARD PROVISIONS, FOR THE PURPOSES OF MINIMUM FRONTAGE, ONLY ONE FRONT YARD MAY BE USED.

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	ZONE LINE
	BUILDING SETBACK
	LANDSCAPE BUFFER
	FRONT PARKING BUFFER
	EXISTING (EX) BUILDING LIMITS
	PROPOSED (PR) BUILDING LIMITS
	PR BUILDING HATCH
	BUILDING OVERHANG LINE / CANOPY
	SAWCUT PAVEMENT LINE
	EDGE OF PAVEMENT
	GRANITE CURB
	CONCRETE CURB
	STANDARD DUTY BITUMINOUS CONCRETE PAVEMENT
	HEAVY DUTY BITUMINOUS CONCRETE PAVEMENT
	CONCRETE SIDEWALK / PAVEMENT
	SIDEWALK LIMITS
	PAVEMENT STRIPING - YELLOW
	PAVEMENT ARROW MARKINGS
	PARKING SPACE COUNT
	WOOD / DECORATIVE FENCE
	CHAIN LINK FENCE W/ PRIVACY SLATS
	VEHICLE
	TRAFFIC SIGN
	TRAFFIC SIGN DESIGNATION
	TRAFFIC SIGNAL
	MASS - PAVEMENT STRIPING - WHITE
	STANDARD AND ADA PARKING SPACES
	ADA ACCESSIBLE RAMP
	CONCRETE BOLLARD
	BIKE RACK

SIGN LEGEND

SIZES (IN) MUTCD # SUPPORTS 30"x30" R1-1 1	SIZES (IN) MUTCD # SUPPORTS 12"x18" R7-8 12"x6" R7-8P 1
SIZES (IN) MUTCD # SUPPORTS 30"x30" R5-1 1	SIZES (IN) MUTCD # SUPPORTS 30"x30" W11-2 24"x12" W16-7PR 1
SIZES (IN) MUTCD # SUPPORTS 24"x30" R6-2L 1	

GENERAL NOTES

- THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.
- ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS, AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT FOR THIS PROJECT.
- EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN DATED JANUARY 26, 2023, SCALE: 1"=15', PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- THE HORIZONTAL DATUM IS NAD83 MASS. MANLAND, THE VERTICAL DATUM IS NAVD83 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
- TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62 ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

SITE PLAN NOTES

- PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "DIG SAFE" 72 HOURS BEFORE THE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY PROVIDER AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES.
- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND SECURITY OF THE SITE DURING ALL PHASES OF CONSTRUCTION. THE ARCHITECT AND ENGINEER OF RECORD HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK. JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND SIDEWALKS ADJACENT TO THE BUILDING.
- TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2" OFF THE FACE OF THE CURB, AND WITH 7' VERTICAL CLEARANCE UNLESS OTHERWISE DETAILED OR NOTED.
- PAVEMENT MARKING KEY:
 - 4" SSWL 4" SINGLE SOLID WHITE LINE
 - 4" DSYL 4" DOUBLE SOLID YELLOW LINE
 - 12" SSWSB 12" SINGLE SOLID WHITE STOP BAR
 - 24" SSWSB 24" SINGLE SOLID WHITE STOP BAR
- PARKING SPACES SHALL BE STRIPED WITH 4" SSWL; HATCHED AREA SHALL BE STRIPED WITH 4" SSWL AT A 45° ANGLE, 2" ON CENTER. HATCHING, SYMBOLS, AND STRIPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE, AND WHITE OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
- THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREAS, OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER OF RECORD. DURING CONSTRUCTION CONTRACTOR IS TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS, AND OVERGROWN VEGETATION.
- THE OWNER SHALL BE RESPONSIBLE TO HAVE THE SITE MAINTAINED FREE OF ALL TRASH, LITTER, DEBRIS AND OVERGROWN VEGETATION.
- PAVEMENT MARKINGS SHALL BE APPLIED TYPE IV IN ACCORDANCE WITH MASSACHUSETTS DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
- ACCORDING TO GEOGRAPHICAL INFORMATION SYSTEM (GIS) MAPPING PRODUCED BY THE STATE'S GIS SYSTEM "MASSMAPPER", NO PORTION OF THE SITE CONTAINS STATE MAPPED WETLANDS OR LIES WITHIN 100 FEET OF ANY STATE MAPPED WETLANDS ON ADJOINING PROPERTIES OR IS WITHIN A WELLEDHEAD PROTECTION AREA.
- ACCORDING TO FLOOD MAP NUMBER 250170041E, DATED 06/04/2010, PRODUCED BY FEMA, THE SITE LIES WITHIN AN AREA OF MINIMAL FLOOD HAZARD, ZONE "X", ALSO KNOWN AS AREAS OUTSIDE OF THE 500 YEAR FLOOD PLAIN.

Graphic Scale:



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MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 880-5455 | F: (203) 880-9695

Drawn By: PDS	
Checked By: CJB	
Approved By: KMS	
Project #: 22205701	
Plan Date: 12/18/24	Kevin Solli, P.E. MA 51952
Scale: 1" = 20'	

BRIDGE STREET LANDING
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: SITE LAYOUT PLAN

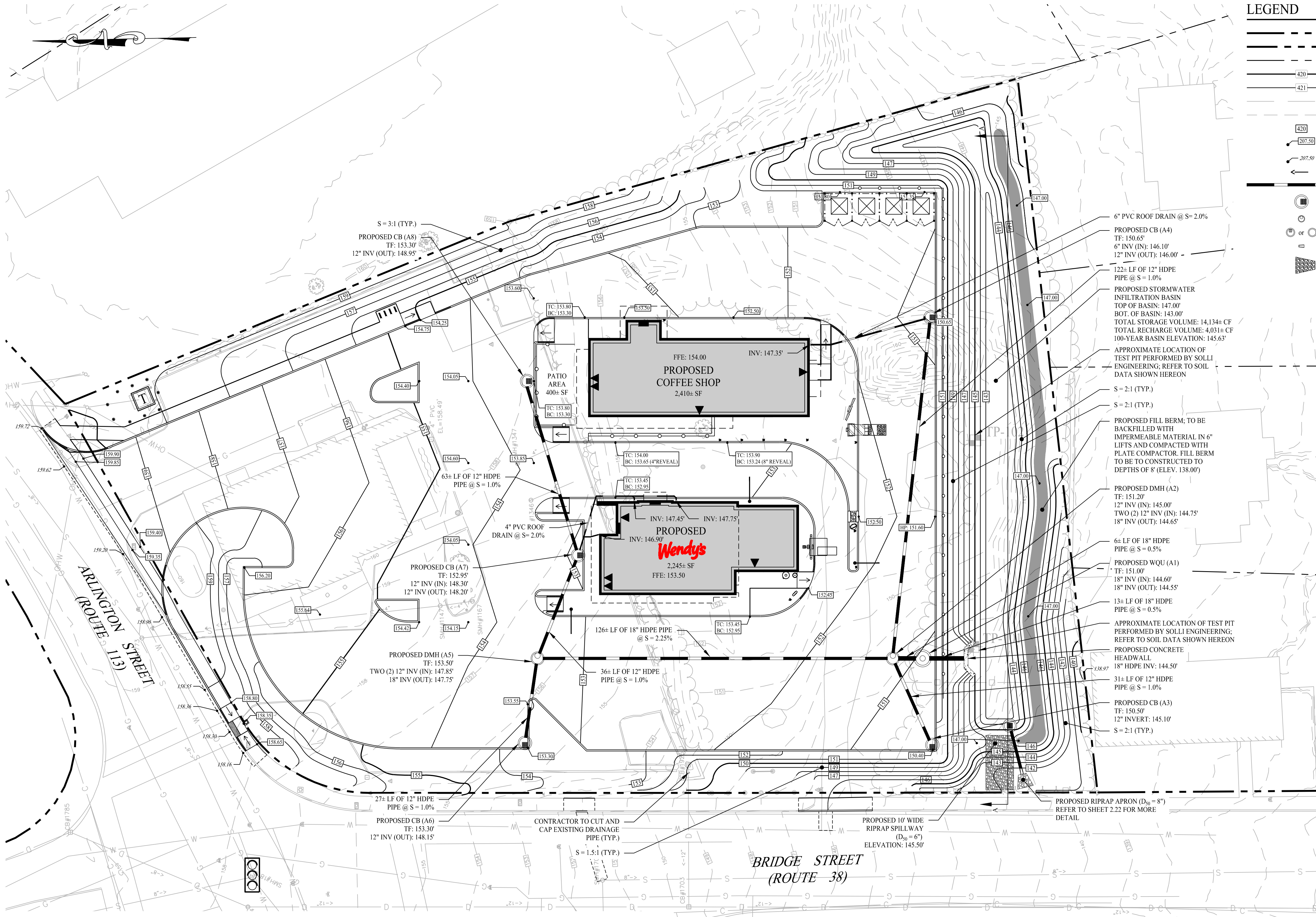
Sheet #:

SITE LAYOUT PLAN

2.11

DATE:

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	MAJOR CONTOURS
	MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	EXISTING MINOR CONTOURS
	CONTOUR LABEL
	PR SPOT ELEVATION
	EXISTING SPOT ELEVATION
	GRADE TO DRAIN
	STORM DRAIN PIPE
	PRECAST CATCH BASIN (4-FOOT SUMP)
	STORM MANHOLE
	WATER QUALITY UNIT
	FLARE END SECTION
	RIP RAP

GENERAL NOTES

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2. ALL SITE WORK TO BE COMPLETED IN ACCORDANCE WITH ALL PERMITS, APPROVALS AND CONDITIONS OF APPROVALS ISSUED BY THE TOWN OF DRACUT FOR THIS PROJECT.
3. EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION TAKEN FROM A PLAN TITLED "PLAN OF LAND IN DRACUT, MA, 5 ARLINGTON STREET & 1327 BRIDGE STREET", DATED JANUARY 26, 2023, SCALE: 1"=15'. PREPARED BY NORTHEAST SURVEY CONSULTANTS.
- 3.1. THE HORIZONTAL DATUM IS NAD83 (MASS. MAINLAND); THE VERTICAL DATUM IS NAVD88 AND BOTH ARE BASED ON RTK GPS OBSERVATION TAKEN ON SITE BY NORTHEAST SURVEY CONSULTANTS.
- 3.2. TOPOGRAPHIC CONDITIONS OUTSIDE OF THE PROJECT SITE WERE DOWNLOADED AND INTERPOLATED OFF THE LIDAR DATABASE FROM THE NOAA DATA ACCESS VIEWER.
4. THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62+/- ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

GRADING & DRAINAGE NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL LOCAL AND STATE PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROLS NECESSARY FOR THIS PROJECT.
2. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES PRIOR TO DEMOLITION OR CONSTRUCTION. THE CONTRACTOR SHALL CONTACT "DIG-SAFE" 24 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
3. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
5. ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. THE CONTRACTOR WILL BE RESPONSIBLE FOR COORDINATING WITH THE APPROPRIATE TOWN DEPARTMENTS PRIOR TO CONSTRUCTION.
6. ALL DISTURBANCE TO TOWN, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
7. IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNERS ENVIRONMENTAL CONSULTANT.
8. ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
9. GRADING CONTRACTOR SHALL RESTORE TO GRADE AND COMPACTION ALL AREAS DISTURBED BY BUILDING CONSTRUCTION PRIOR TO PAVING OPERATIONS COMMENCING.
10. THE PROPOSED STORMWATER MANAGEMENT SYSTEMS HAVE BEEN DESIGNED IN ACCORDANCE WITH THE MASSACHUSETTS STORMWATER HANDBOOK AND STORMWATER STANDARDS.
11. ALL CATCH BASINS ARE TO BE INSTALLED WITH MINIMUM OF 4-FOOT SUMPS.

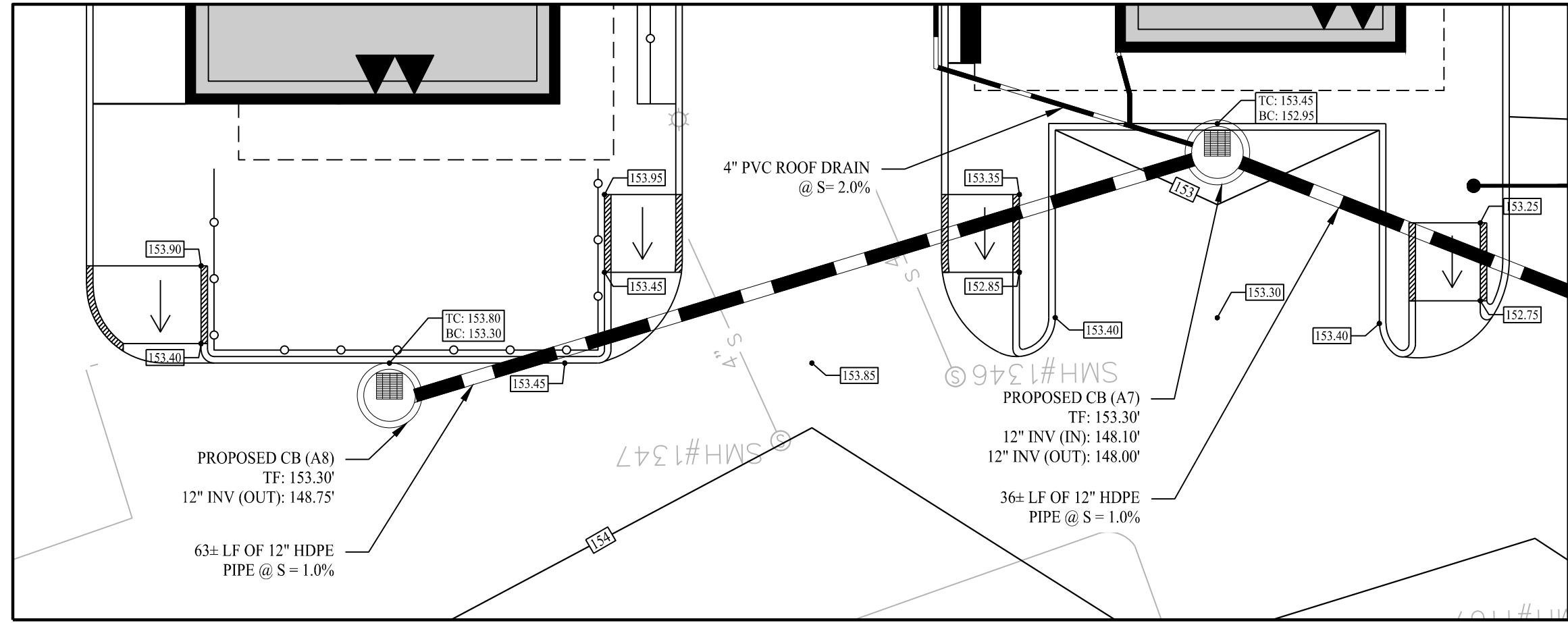
ABBREVIATIONS

@	AT
BC	BOTTOM OF CURB
BOT	BOTTOM
CB	CATCH BASIN
CF	CUBIC FEET
DMH	DRAINAGE MANHOLE
EX	EXISTING
FES	FLARED END SECTION
FEE	FINISHED FLOOR ELEVATION
GTD	GRADE TO DRAIN
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
INV	INVERT
LF	LINEAR FEET
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
S	SLOPE
SF	SQUARE FOOT
SS	SOIL STRUCTURE
STRM	STORM
TC	TOP OF CURB
TF	TOP OF FRAME
TYP	TYPICAL
UG	UNDERGROUND SYSTEM
VIF	VERIFY IN FIELD
WQU	WATER QUALITY UNIT

TEST PIT

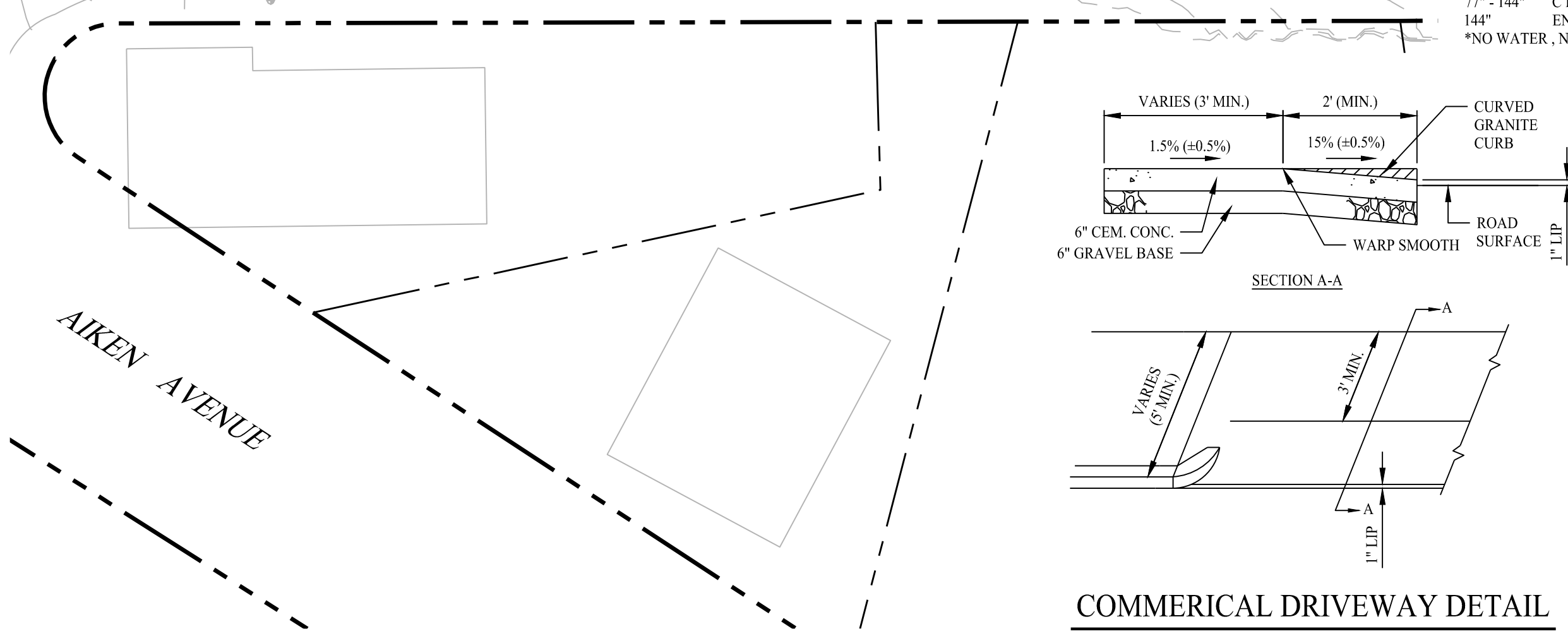
(PERFORMED BY CASEY BURCH MASSDEP CERTIFIED SOIL EVALUATOR
LICENSE NO. 14409 WITH SOLLI ENGINEERING IN OCTOBER 2023)

TP #101	TOPSOIL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 3/2)
0' - 6"	FILL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 4/3)
6' - 46"	A HORIZON LAYER / BURIED TOPSOIL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 2/2)
46' - 56"	B HORIZON LAYER - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 5/4)
56' - 72"	C HORIZON LAYER - LOAMY SAND, MASSIVE SS, VERY FRIABLE (10YR 7/1)
72' - 120"	END OF EXPLORATION
120"	*NO WATER, NO REDOX, NO LEDGE, ROOTS OBSERVED FROM 0" - 6" AND FROM 46" - 72"
TP #102	TOPSOIL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 3/2)
0' - 4"	FILL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 4/2)
4" - 58"	A HORIZON LAYER / BURIED TOPSOIL - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 2/2)
58' - 66"	B HORIZON LAYER - SANDY LOAM, MASSIVE SS, FRIABLE (10YR 4/6)
66' - 77"	C HORIZON LAYER - SAND, MASSIVE SS, LOOSE (10YR 6/2)
77' - 144"	END OF EXPLORATION
144"	*NO WATER, NO REDOX, NO LEDGE, ROOTS OBSERVED FROM 0" - 4" AND FROM 58" - 66"



PATIO / ADA PARKING ENLARGEMENT

SCALE: 1" = 10'



COMMERICAL DRIVEWAY DETAIL

SCALE: NTS

DRACUT PLANNING BOARD

DATE: _____

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title: **GRADING &
DRAINAGE
PLAN**

Sheet #:

2.21

3	04/02/25	RIPRAP APRON REV
2	03/27/25	PEER REVIEW RTC
1	03/05/25	SWM PEER REVIEW RTC
Rev. #:	Date	Description

Graphic Scale:



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MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 886-5455 | F: (203) 886-9695

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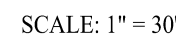


Kevin Solli, P.E.
MA 51952

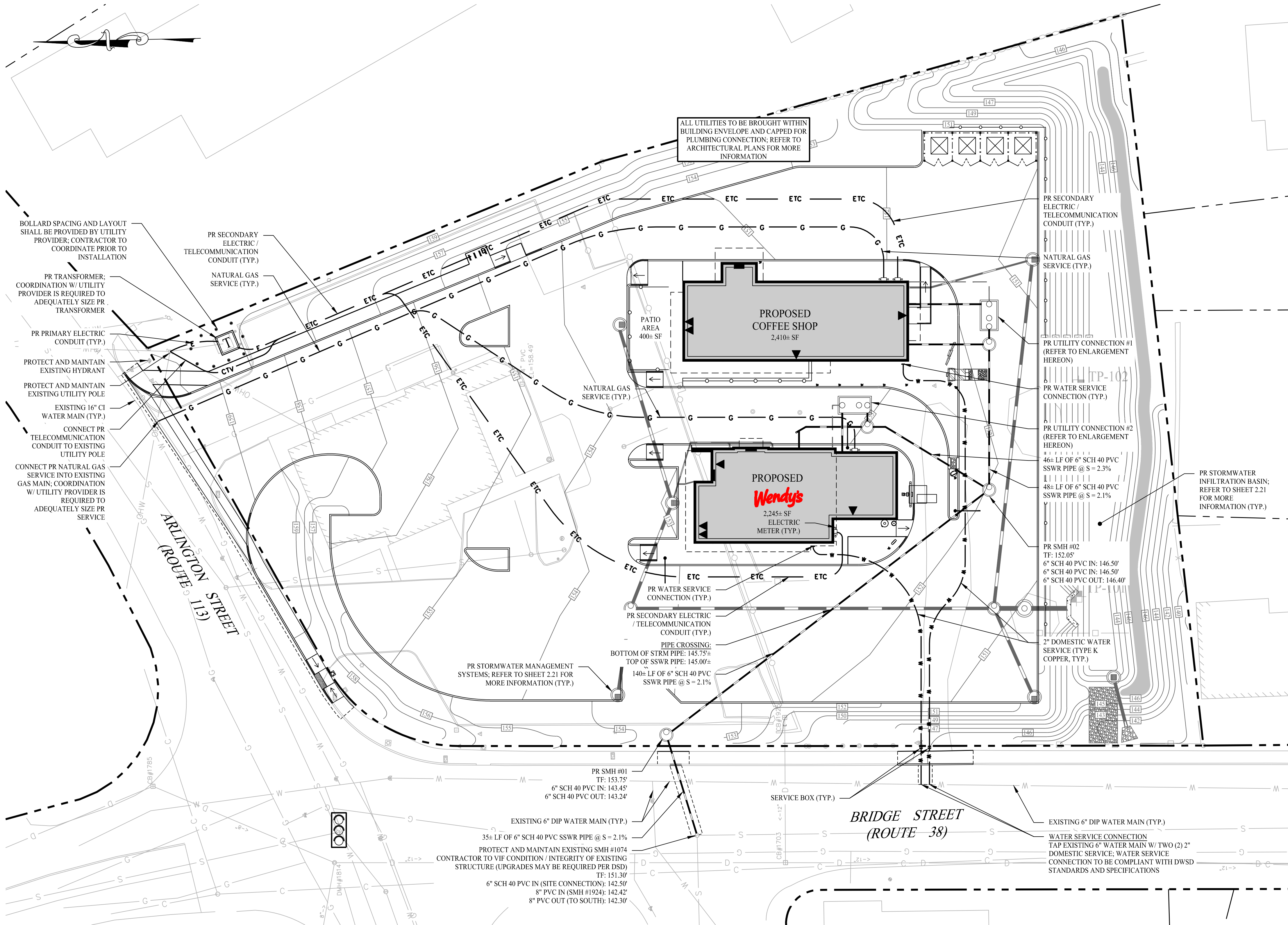


2.22

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS



THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE
PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS



UTILITY CONTACTS

WATER
MICHAEL SHEU / SUPERINTENDENT
DRACUT WATER SUPPLY DISTRICT
59 HOPKIN STREET
DRACUT, MASSACHUSETTS 01826
(978) 957-0441

SEWER
MARGUERITE HOOVER / SUPERINTENDENT
TOWN OF DRACUT SEWER DEPARTMENT
TOWN HALL
62 ARLINGTON STREET
DRACUT, MASSACHUSETTS 01826
(978) 957-0371

ELECTRIC
NATIONAL GRID ELECTRIC
40 SYLVAN ROAD
WALTHAM, MASSACHUSETTS 02451
(781) 296-6483

GAS
NATIONAL GRID GAS
40 SYLVAN ROAD
WALTHAM, MASSACHUSETTS 02451
(781) 907-2845

ABBREVIATIONS

@	AT
CI	CAST IRON
DIP	DUCTILE IRON PIPE
DPW	DEPARTMENT OF PUBLIC WORKS
DSD	DRACUT SEWER DEPARTMENT
DWSD	DRACUT WATER SUPPLY DISTRICT
EX	EXISTING
FEE	FINISHED FLOOR ELEVATION
GAL	GALLON
GT	GREASE TRAP
INV	INVERT
LF	LINEAR FEET
MIN	MINIMUM
PR	PROPOSED
PVC	POLYVINYL CHLORIDE
S	SLOPE
SCH	SCHEDULE
SMH	SEWER MANHOLE
SSWR	SANITARY SEWER
STRM	STORM
TF	TOP OF FRAME
TYP	TYPICAL
VIF	VERIFY IN FIELD

GENERAL NOTES

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- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62± ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.

UTILITY NOTES

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- SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED, EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER OF RECORD IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OF RECORD OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
- ALL UTILITY WORK PROPOSED WITHIN THE TOWN OF DRACUT RIGHT-OF-WAY SHALL COMPLY WITH TOWN OF DRACUT DPW AND ENGINEERING STANDARDS AND SPECIFICATIONS. PROPOSED UTILITY WORK WILL REQUIRE LANE CLOSURES. COORDINATION WITH THE ENGINEER OF RECORD WILL BE NEEDED FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLANS.
- ALL DISTURBANCE TO CITY, COUNTY, OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER.
- IF IMPACTED OR CONTAMINATED SOIL IS ENCOUNTERED BY THE CONTRACTOR, THE CONTRACTOR SHALL SUSPEND EXCAVATION WORK OF IMPACTED SOIL AND NOTIFY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT PRIOR TO PROCEEDING WITH FURTHER WORK IN THE IMPACTED SOIL LOCATION UNTIL FURTHER INSTRUCTED BY THE OWNER AND/OR OWNER'S ENVIRONMENTAL CONSULTANT.
- ALL PIPE LENGTHS ARE HORIZONTAL DISTANCES AND ARE APPROXIMATE.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE WATER SERVICE SHALL BE IN COMPLIANCE WITH THE DRACUT WATER SUPPLY DISTRICT STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE SEWER SERVICE SHALL BE IN COMPLIANCE WITH THE TOWN OF DRACUT SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE ELECTRIC SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
- ALL WORK ASSOCIATED WITH THE INSTALLATION OF THE GAS SERVICE SHALL BE IN COMPLIANCE WITH NATIONAL GRID STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING UTILITY COMPANIES 72 HOURS PRIOR TO BEGINNING OF EXCAVATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TAP AND TIE-IN FEES REQUIRED BY UTILITY PROVIDERS.

5 ARLINGTON STREET / 1327 BRIDGE STREET SEWER DESIGN FLOW SUMMARY

PROPOSED CONDITIONS			
BUILDING USE	GFA / SEATS	MASSDEP TITLE 5 DESIGN FLOW RATE	PROPOSED DESIGN FLOW
PROPOSED WENDY'S	2,245± SF / 60 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,200 GPD
PROPOSED COFFEE SHOP	2,410± SF / 62 SEATS	RESTAURANT (FAST-FOOD): 20 GPD / SEAT	1,240 GPD
TOTAL PROPOSED DESIGN FLOW			2,440 GPD

LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ADJOINING LOT LINE
	WATER MAIN / LATERAL
	GAS LINE
	ELECTRIC CONDUIT
	CABLE & TELEPHONE CONDUIT
	UNDERGROUND ELECTRIC, TELEPHONE AND CABLE LINES
	SANITARY SEWER PIPE
	GREASE TRAP
	SANITARY SEWER MANHOLE
	WATER SERVICE BOX
	GAS METER
	ELECTRIC METER
	ELECTRIC TRANSFORMER

DRACUT PLANNING BOARD

DATE: _____

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

Rev. #:	Date	Description

Graphic Scale:



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Kevin Solli, P.E.
MA 51952

Project:

**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title:

**SITE
UTILITY
PLAN**

Sheet #:

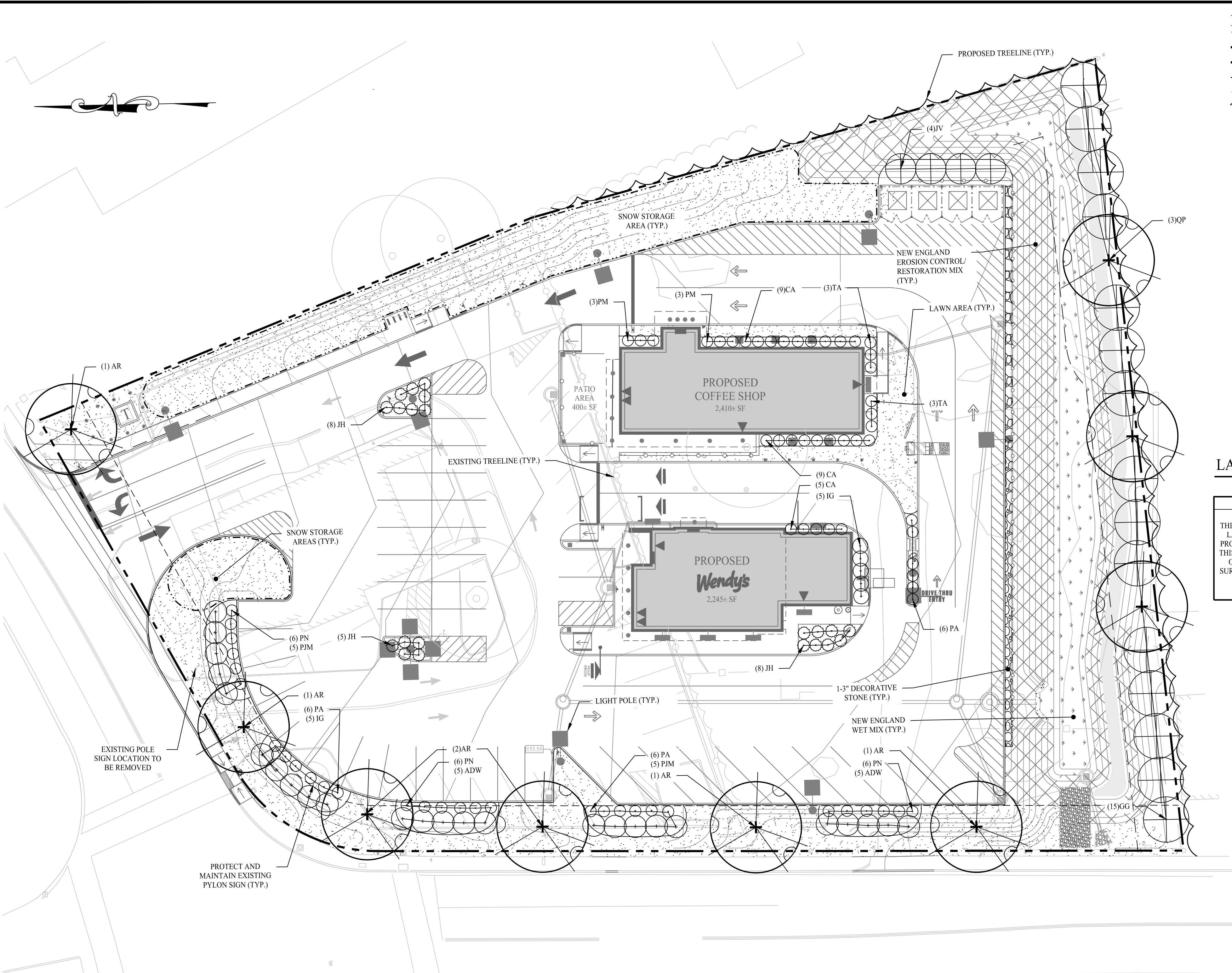
2.51

UTILITY CONNECTION #1

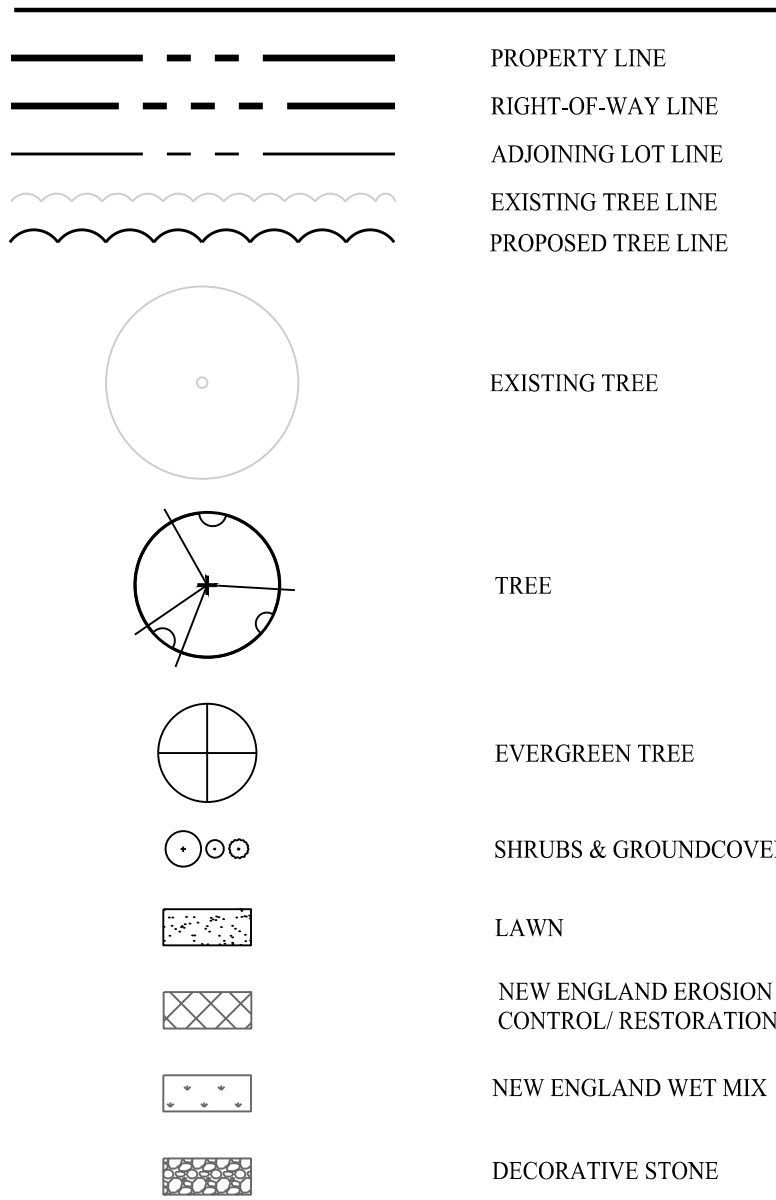
SCALE: 1" = 10'

UTILITY CONNECTION #2

SCALE: 1" = 10'



LEGEND



PLANTING SOIL NOTES

- ALL PLANTING MIXES SHALL BE PREPARED PRIOR TO DELIVERY TO SITE.
- PLANTING MIX FOR TREES AND SHRUBS SHALL BE AS FOLLOWS:
 - 3 PARTS SCREED TOPSOIL
 - 1 PART CLEAN WASHED COARSE SAND
 - 1 PART PEAT HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CUBIC YARD OF MIX
- MYCORRHIZAL INNOCUANT TO BE MYCOR TREE SAVER TRANSPLANT BY PLANT HEALTH CARE, INC. (1-800-421-9051) OR APPROVED EQUAL.
- TERRASORB AVAILABLE FROM PLANT HEALTH CARE, INC. OR APPROVED EQUAL.
- SUBMIT CERTIFICATION OF PLANTING MIX FOR TREES AND SHRUBS FROM SOIL DISTRIBUTOR.
- TOPSOIL MIX SHALL INCLUDE:
 - 3 PARTS SCREENED TOPSOIL
 - 1 PART SAND
 - 1 PART HUMUS
 - 5 LBS. SUPER PHOSPHATE PER CU. YD. OF MIX
- TOPSOIL:
 - PROVIDE A NATURAL, FERTILE, FRIABLE, NATURAL LOAM SURFACE SOIL CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, OF UNIFORM COMPOSITION THROUGHOUT AND WITHOUT ADMIXTURES OF SUBSOIL, AND FREE OF STONES, LUMPS, PLANTS, ROOTS, STICKS OR OTHER EXTRANEOUS MATTER.
 - TOPSOIL SHALL CONTAIN NOT LESS THAN 4% NOR MORE THAN 20% ORGANIC MATTER AS DETERMINED BY THE WET COMBUSTION METHOD.
 - MECHANICAL ANALYSIS

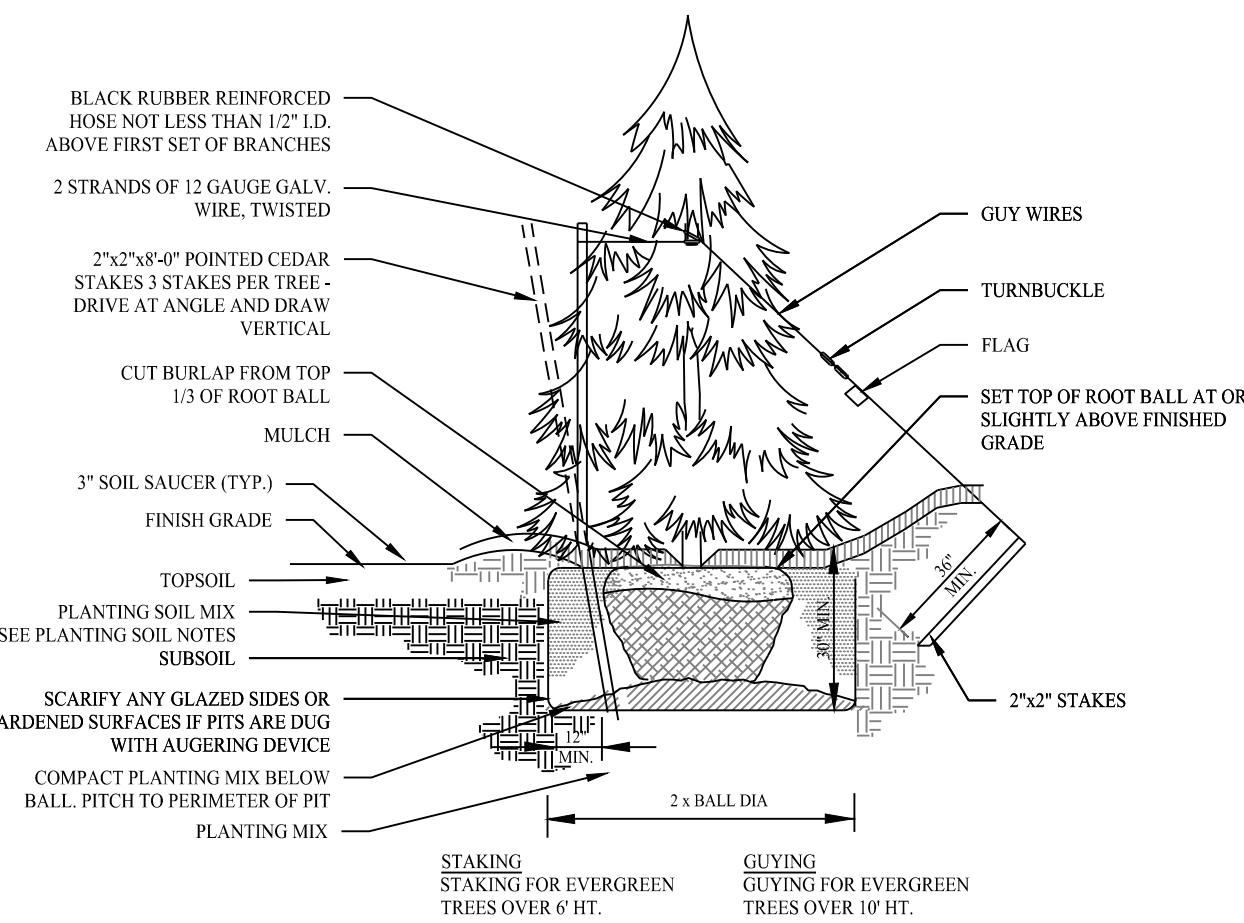
SCREEN SIZE	% BY WEIGHT PASSING
1"	100
1/4"	97 - 100
NO. 200	20 - 65
 - CONTRACTORS SHALL BE RESPONSIBLE FOR ALL TESTING AND ANALYSIS OF EXISTING AND IMPORTED SOILS. FURNISH A SOIL ANALYSIS MADE BY A QUALIFIED INDEPENDENT SOIL-TESTING AGENCY STATING PERCENTAGES OF ORGANIC MATTER, INORGANIC MATTER (SILT, CLAY, AND SAND), DELETERIOUS MATERIAL, PH, AND MINERAL AND PLANT-NUTRIENT CONTENT OF TOPSOIL.
 - REPORT SUITABILITY OF TOPSOIL FOR LAWN AND SHRUB PLANTING GROWTH. RECOMMEND QUANTITIES OF NITROGEN, PHOSPHORUS, AND POTASH NUTRIENT AND ANY LIMESTONE, ALUMINUM SULFATE, OR OTHER SOIL AMENDMENTS TO BE ADDED TO PRODUCE A SATISFACTORY TOPSOIL.

LANDSCAPE AREA CALCULATION

REQUIREMENT 2.4.12	REQUIRED	PROVIDED
THE MINIMUM TOTAL S.F. OF LANDSCAPING FOR ANY PROJECT APPROVED UNDER THIS SECTION SHALL BE 20% OF TOTAL IMPERVIOUS SURFACE OF THE PROPOSED PROJECT.	TOTAL IMPERVIOUS AREA = 43,097 S.F. 43,097 S.F. x (.20) = 8,619 S.F.	8,800 S.F.

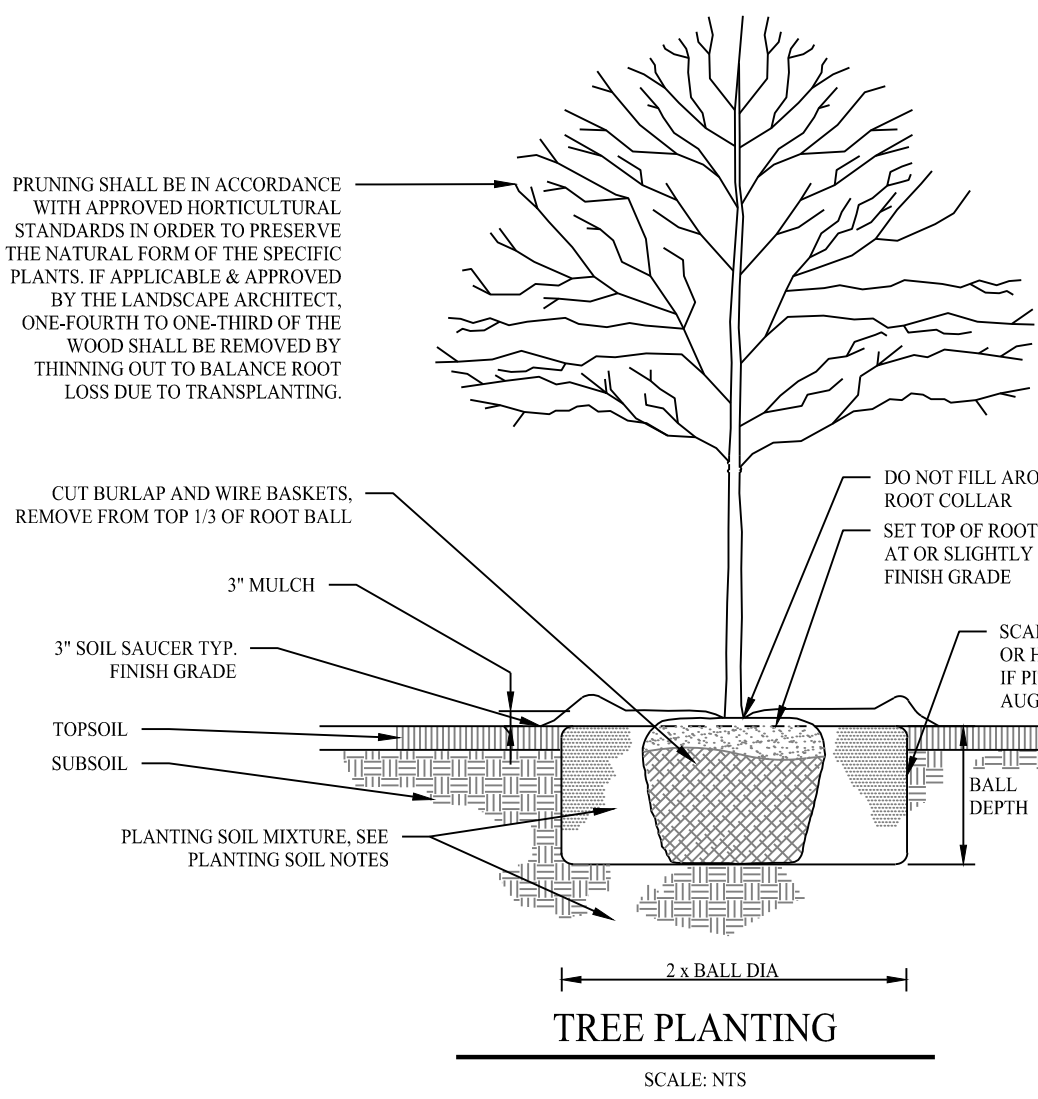
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- THE PROJECT SITE CONSISTS OF ONE (1) PARCEL WITH A TOTAL LAND AREA OF APPROXIMATELY 1.62+ ACRES LOCATED WITHIN THE BUSINESS 3 (B-3) ZONING DISTRICT OF THE TOWN OF DRACUT, MA. THE SITE ALSO IS WITHIN THE DRACUT TOWN CENTER NEIGHBORHOOD OVERLAY DISTRICT. RETAIL AND RESTAURANTS ARE PERMITTED AS OF RIGHT WITHIN SAID ZONING DISTRICT. FAST-FOOD USES REQUIRE SPECIAL PERMIT APPROVAL.
- BE AWARE OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION OR PLANTING OPERATIONS. USE CARE TO PROTECT EXISTING UTILITIES FROM DAMAGE, CONTACT "DIG SAFE 811" PRIOR TO EXCAVATION.
- ALL PLANTINGS ARE TO BE INSTALLED BY A QUALIFIED LANDSCAPE CONTRACTOR.
- THE CONTRACTOR SHALL BE REQUIRED TO CARRY WORKMEN'S COMPENSATION INSURANCE AND COMPREHENSIVE GENERAL LIABILITY INSURANCE. CERTIFICATES WILL BE REQUIRED PRIOR TO SIGNING CONTRACTS.
- CONTRACTOR IS RESPONSIBLE FOR JOBSITE SAFETY. CONTRACTOR SHALL MAINTAIN A SAFE JOBSITE AT ALL TIMES.
- CONTRACTOR SHALL BE FAMILIAR WITH THE SITE TO VERIFY ALL DIMENSIONS, GRADES AND EXISTING CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND LICENSES REQUIRED FOR COMPLETING WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSAL OF ALL EXCAVATED SOIL, BRUSH AND DEBRIS OFF-SITE IN A SAFE AND LEGAL MANNER.
- NOTIFY OWNER OR LANDSCAPE DESIGNER 72 HOURS MINIMUM IN ADVANCE OF STARTING PLANTING OPERATIONS. RECEIVE APPROVAL FOR LAYOUT OF ALL BED LINES AND MATERIAL LOCATIONS PRIOR TO INSTALLATION.
- PROTECT EXISTING VEGETATION TO REMAIN FROM DAMAGE DURING CONSTRUCTION. IT IS THE INTENT OF THIS CONTRACT TO AVOID ANY DISTURBANCE TO EXISTING VEGETATION ON THE SITE OTHER THAN THOSE SPECIFICALLY DESIGNATED FOR REMOVAL. ADJUSTMENTS SHALL BE MADE IN THE FIELD AT THE DIRECTION OF THE LANDSCAPE DESIGNER.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL PLANTING, SEEDING AND TREE WORK WITH OTHER TRADES. RESPECT OTHER TRADES WORK AT ALL TIMES.
- CONTRACTOR IS TO EXERCISE EXTREME CARE DURING THE COURSE OF DEMOLITION AND REMOVALS ANY DAMAGE TO EXISTING FACILITIES, UTILITIES OR TREES TO REMAIN SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE IN KIND.
- CONTRACTOR IS RESPONSIBLE FOR RESTORING ALL AREAS DAMAGED TO PRE-EXISTING CONDITIONS AS A RESULT OF PLANTING OPERATIONS TO OWNERS AND/OR LANDSCAPE DESIGNERS APPROVAL.
- VEGETATION TO BE REMOVED, NOT INDICATED ON PLAN, SHALL BE TAGGED IN FIELD BY LANDSCAPE DESIGNER.
- THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIALS AND SUBSTITUTIONS. THE LANDSCAPE DESIGNER IS WILLING TO MAKE TWO TRIPS TO SUPPLIERS TO TAG, REVIEW AND APPROVE MATERIALS. PREVIOUSLY UNAPPROVED MATERIALS MAY BE REJECTED AT THE SITE. MINIMALLY, ALL MATERIALS WILL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z601 - 2004) OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN GOOD, HEALTHY AND FLOURISHING CONDITION FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AS SOON AS WEATHER AND SEASONAL CONDITIONS PERMIT, ALL DEAD PLANTS AND ALL PLANTS NOT IN A VIGOROUS, THRIVING CONDITION, AS DETERMINED BY THE LANDSCAPE DESIGNER DURING, AND AT THE END OF THE GUARANTEE PERIOD. WARRANTY REPLACEMENT WILL BE PROVIDED AT NO COST TO THE OWNER AND INCLUDE MATERIALS AND LABOR. CONTRACTOR IS RESPONSIBLE FOR REPAIR OF ANY DAMAGE INCURRED DURING REPLACEMENT OF WARRANTY MATERIALS.
- WHEN THERE IS A DISCREPANCY BETWEEN PLANT QUANTITIES SHOWN ON THE PLANT LIST & THE PLAN, USE THE QUANTITIES FROM THE PLAN.
- PERENNIALS, GROUNDCOVERS & GRASSES TO BE FIELD LOCATED BY LANDSCAPE DESIGNER. COORDINATE TO NOTIFY LANDSCAPE DESIGNER AT LEAST 72 HOURS IN ADVANCE OF EXPECTED INSTALLATION DATE. ON THAT DATE ALL BEDS SHALL BE PREPARED & ALL PLANT MATERIAL SHALL BE ON SITE.
- PROVIDE A MINIMUM 6" TOPSOIL FOR ALL DISTURBED AREAS. SUBMIT SAMPLE OF TOPSOIL AND SOIL TEST RESULTS FOR LANDSCAPE DESIGNER APPROVAL PRIOR TO DELIVERING TO SITE.
- MULCH ALL BEDS SHOWN AS CONTINUOUS WITH A 3" MINIMUM OF DOUBLE SHREDDED CEDAR BARK MULCH. ALL SAMPLE TO BE SUBMITTED TO LANDSCAPE DESIGNER FOR APPROVAL.
- ALL PLANT MATERIALS TO BE SOURCED FROM LOCALLY GROWN GROWERS.



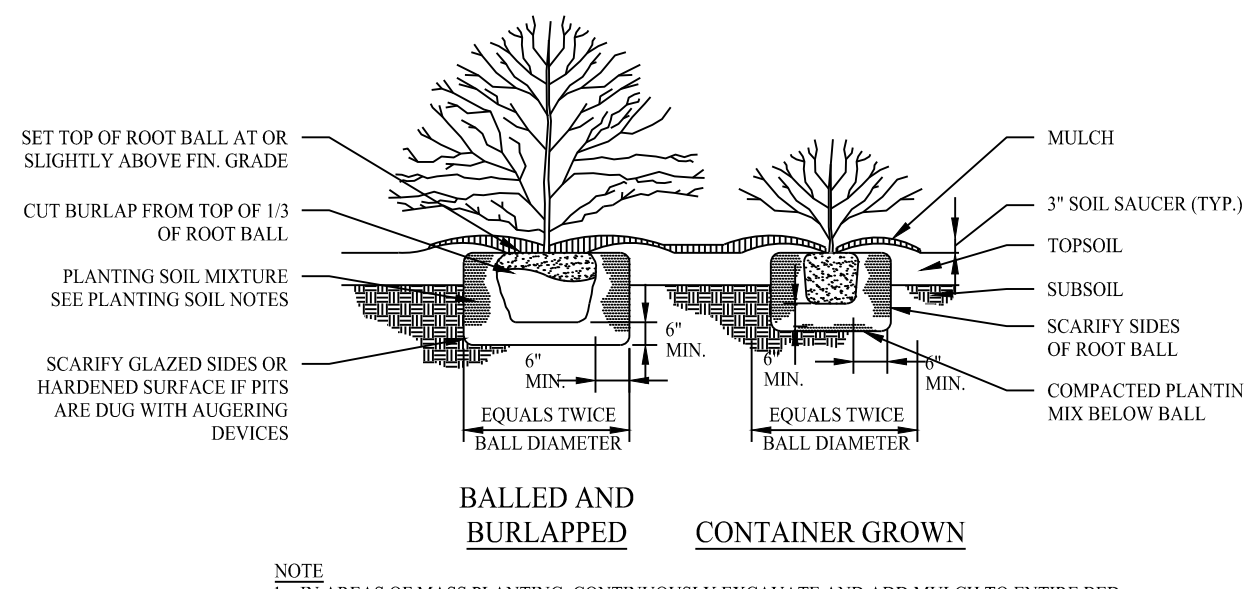
EVERGREEN TREE PLANTING

SCALE: NTS



TREE PLANTING

SCALE: NTS



SHRUB / GROUNDCOVER PLANTING

SCALE: NTS

PLANTING SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	COMMENTS
TREES						
AR	6	ACER RUBRUM 'AUTUM BLAZE'	AUTUM BLAZE RED MAPLE	B&B	2"-2 1/2" CAL	FULL, EXTRA HEAVY
JV	4	JUNIPERUS VIRGINANA	EASTERN RED CEDAR	B&B	6' HT	FULL, EXTRA HEAVY
GG	15	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B&B	6' HT	FULL, EXTRA HEAVY
QP	3	QUERCUS PALUSTRIS	PIN OAK	B&B	2"-2 1/2" CAL	FULL, EXTRA HEAVY
SHRUBS						
ADW	10	AZALEA 'DELAWARE VALLEY WHITE'	DELAWARE VALLEY WHITE AZALEA	CONT	24"-30" HT	FULL, EXTRA HEAVY
IG	10	ILEX GLABRA 'SHAMROCK'	INKBERRY HOLLY SHAMROCK	CONT	24"-30" HT	FULL, EXTRA HEAVY
PM	6	PINUS MUGO 'PUMILLIO'	SWISS MOUNTAIN PINE	CONT	24"-30" HT	FULL, EXTRA HEAVY
PJM	10	PJM RHODODENDRON 'ELITE STAR'	ELITE STAR PJM	CONT	24"-30" HT	FULL, EXTRA HEAVY
TA	6	TAXUS X MEDIA 'DENSIFORMIS'	YEW	CONT	24"-30" HT	FULL, EXTRA HEAVY
GRASSES / PERENNIALS / GROUNDCOVER						
CA	20	CALAMAGROSTIS ACUTIFLORA	KARL FOERSTER GRASS	CONT	1 GAL	FULL, EXTRA HEAVY
JH	21	JUNIPERUS HORIZONTALIS 'BAR HARDOR'	BAR HARBOR CREEPING JUNIPER	CONT	1 GAL	FULL, EXTRA HEAVY
PA	18	PENNISTEUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	CONT	1 GAL	FULL, EXTRA HEAVY
PN	18	PANICUM VIRGATUM 'NORTHWIND'	NORTHWIND SWITCHGRASS	CONT	1 GAL	FULL, EXTRA HEAVY
SEED MIXES						
LAWN: PENNINGTON SMART SEED SUN AND SHADE						
APPLICATION RATE NEW LAWNS: 9 LB/1,000 S.F.						
NEW ENGLAND WETMIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/2,500 S.F.						
NEW ENGLAND EROSION CONTROL/RESTORATION MIX (NEW ENGLAND WETLAND PLANTS, INC.)						
APPLICATION RATE: 1 LB/1,250 S.F.						

Rev. #: Date Description

Graphic Scale:



Drawn By:	MMH
Checked By:	MFB
Approved By:	KMS
Project #:	22203701
Plan Date:	12/18/24
Scale:	1" = 20'



Project:
BRIDGE STREET LANDING
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

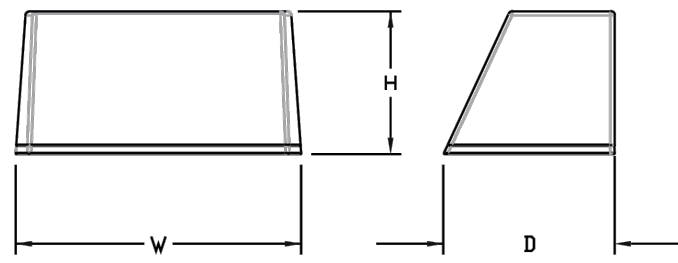
Sheet Title: **LANDSCAPE PLAN**
Sheet #: **2.61**

DATE: _____
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



Specifications
Luminaire

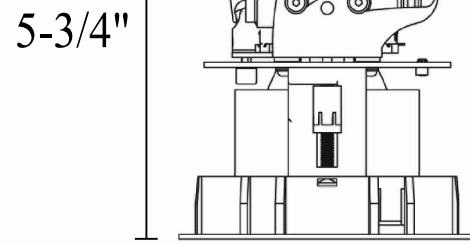
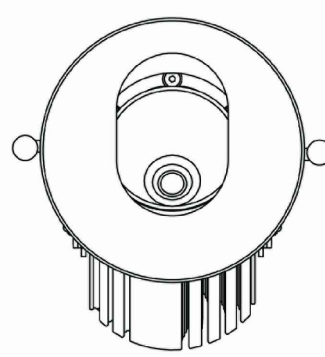
Height: 8-1/2"
(21.59 cm)
Width: 17"
(43.18 cm)
Depth: 10-3/16"
(25.9 cm)
Weight: 20 lbs
(9.1 kg)



PROPOSED WALL MOUNTED LIGHT FIXTURE - W1

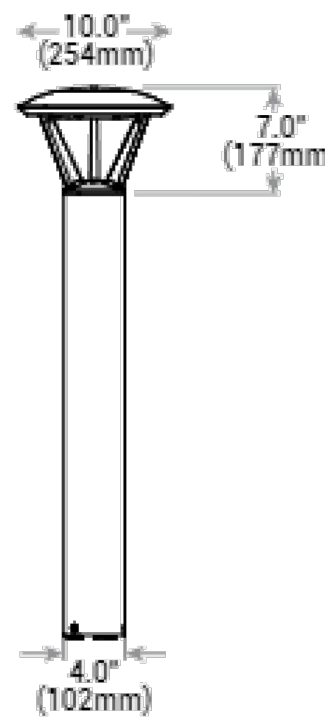
LITHONIA LIGHTING, WST WALL PACK
SCALE: NTS

3-3/4"



PROPOSED CANOPY DOWN LIGHT FIXTURE - R1

ALPHABET LEDRA BRANDS NUI ROUND ADJUSTABLE STATIC WHITE PINEHOLES050
SCALE: NTS



PROPOSED BOLLARD FIXTURE - B1

CREE LIGHTING, EDGE PATHWAY BOLLARD
SCALE: NTS

FIXTURE SCHEDULE						
QTY	CALLOUT	SYMBOL	FIXTURE DESCRIPTION	MODEL	NOTES	LUMENS
7	W1		WALL MOUNTED FIXTURE	WSTLED-P2-30K-VF-MVOLT-DBLXD	3K LED, 10' MOUNTING HEIGHT	3,000
18	R1		CANOPY MOUNTED FIXTURE	ALPHABET LEDRA BRANDS, SERIES NUI TYPE RAPH, WD	27W 3K LED, 10' MOUNTING HEIGHT	1,110
4	B1		BOLLARD FIXTURE	CREE LIGHTING EDGE SERIES, MODEL PWY-EDG-5M-P4-02-E-UH-BK-525	34W 3K LED, 46"	2,404
5	S1		WALL MOUNTED FIXTURE	NOVUS DECOR, ARMOR OUTDOOR SCONCE: LED PAR 20 550LM 3000K, BLACK	3K LED, 6' ON CENTER MOUNTING HEIGHT	550
1	P1		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-MC-BLSF-9L-30K7-2B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
7	P2		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-MC-BLSF-9L-30K7-4M-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	8,225
2	P3		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-MC-BLSF-9L-30K7-3B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,650
2	P4		POLE MOUNTED FIXTURE	CREE LIGHTING OSQ LED SERIES, MODEL OSQ-MC-BLSF-9L-30K7-4B-UL-NM-BK	55W 3K LED, 18' MOUNTING HEIGHT	5,175
8	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-ID-C-BK	17' POLE, 1" FOUNDATION	N/A
1	N/A	N/A	POLE	CREE LIGHTING, POLE SSS-3-11-17-CW-BS-4D90-C-BK	17' POLE, 1" FOUNDATION	N/A

LEGEND

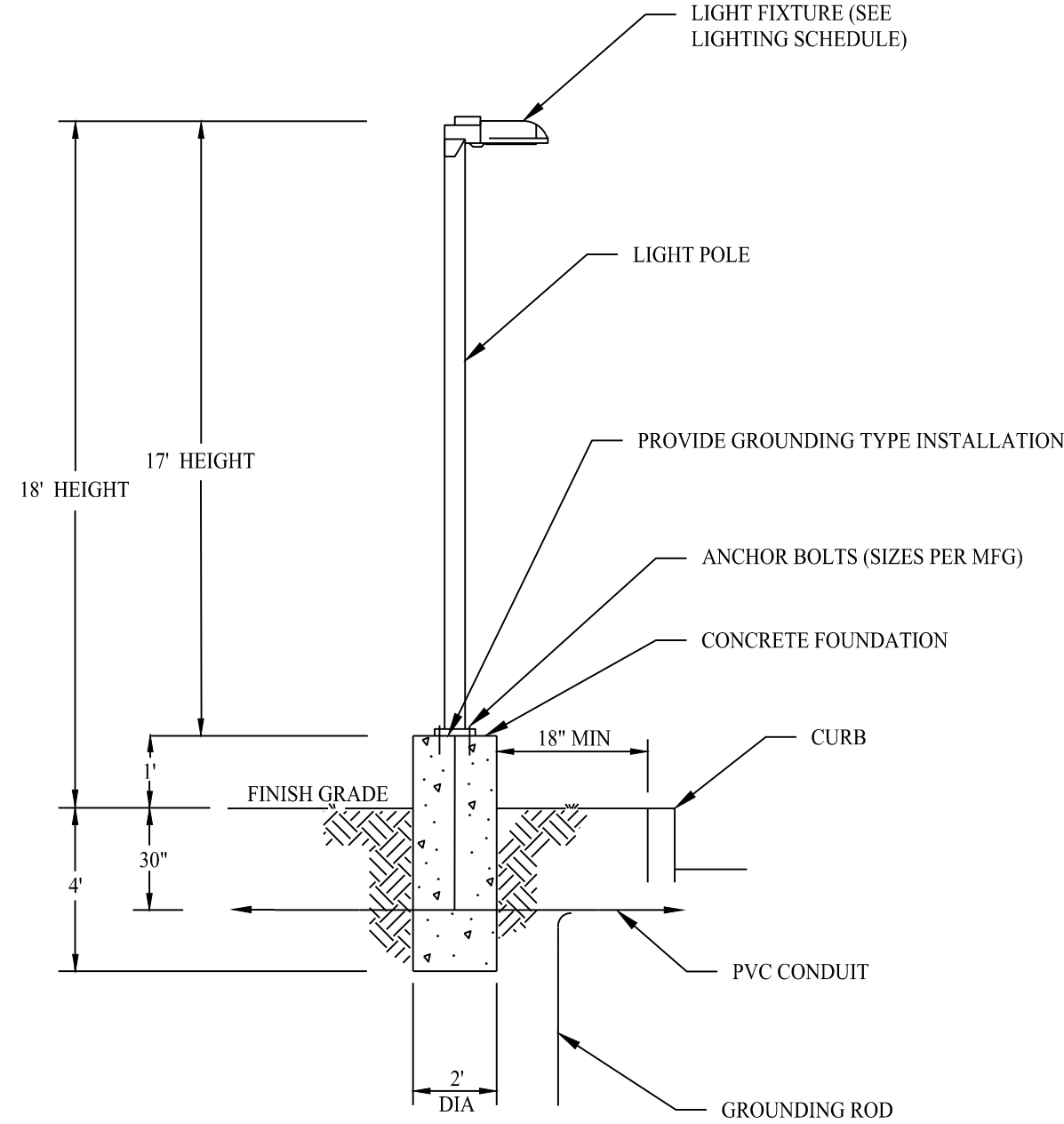
0.1	0.1	0.1	
0.1	0.1	0.0	PROPOSED FOOTCANDLES
0.1	0.0	0.0	
			PROPOSED WALL MOUNTED FIXTURE
			PROPOSED WALL SCONCE
			PROPOSED CANOPY MOUNTED FIXTURES
			PROPOSED BOLLARD FIXTURES
			EXISTING POLE MOUNTED FIXTURES
			LINE OF 0.2 & 0.0 FOOTCANDLES

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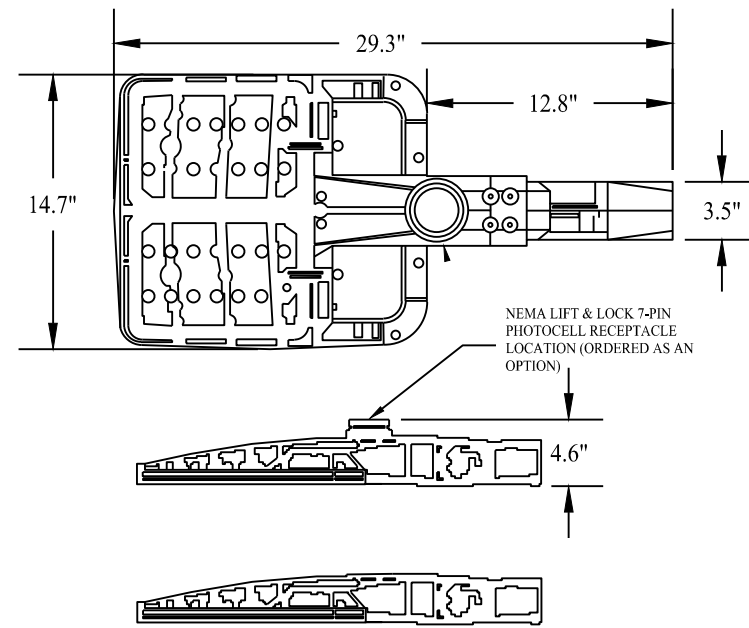
LIGHTING NOTES

- ALL LIGHT FIXTURES TO BE MOUNTED AND INSTALLED PER MANUFACTURER SPECIFICATIONS.
- ALL WORK AND RELATED MATERIALS SHALL COMPLY WITH TOWN, COUNTY, AND OTHER APPLICABLE GOVERNING AUTHORITY REQUIREMENTS.
- ALL EXISTING SITE LIGHT FIXTURES TO BE REMOVED.



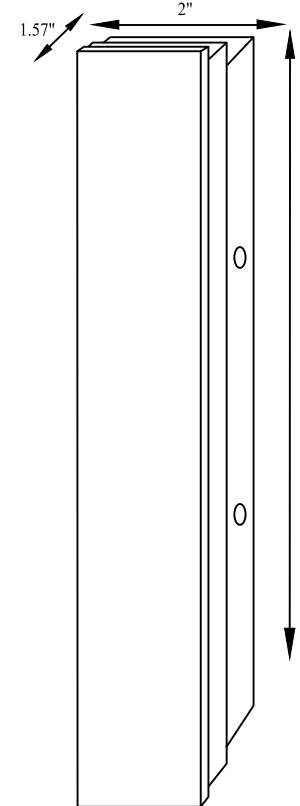
PROPOSED LIGHT POLE - P1, P2, P3 & P4

SCALE: NTS



POLE MOUNTED LIGHT FIXTURE - P1, P2, P3 & P4

CREE LIGHTING, OSQ-A LED SERIES, BRONZE
SCALE: NTS



PROPOSED WALL MOUNTED SCONCE - S1

NOVUS LIGHTING, ARMOR OUTDOOR WALL SCONCE
SCALE: NTS

DRACUT PLANNING BOARD

DATE: _____
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

Rev. #: _____ Date _____ Description _____

Graphic Scale:



MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 880-5455 | F: (203) 880-9695

Drawn By: MMH

Checked By: MFB

Approved By: KMS

Project #: 22203701

Plan Date: 12/18/24

Scale: 1" = 20'



Kevin Solli, P.E.
MA 51952

Project:

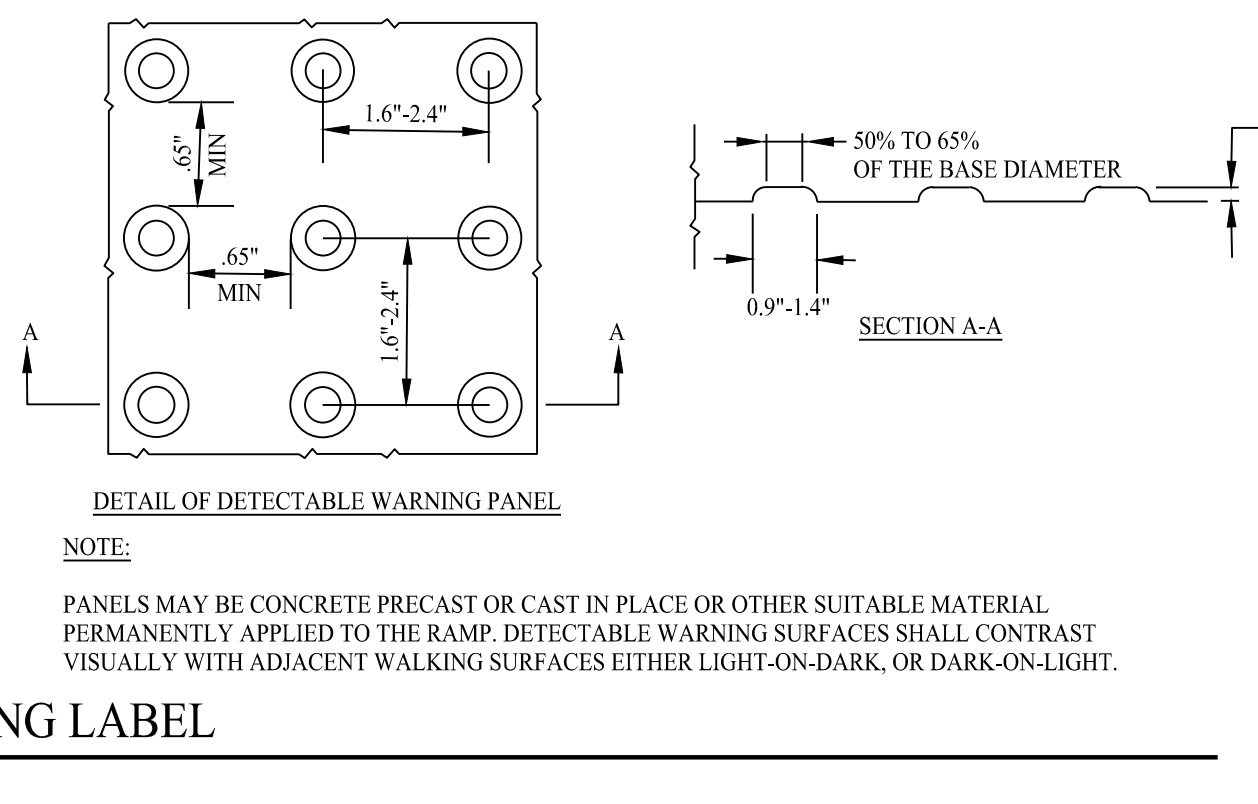
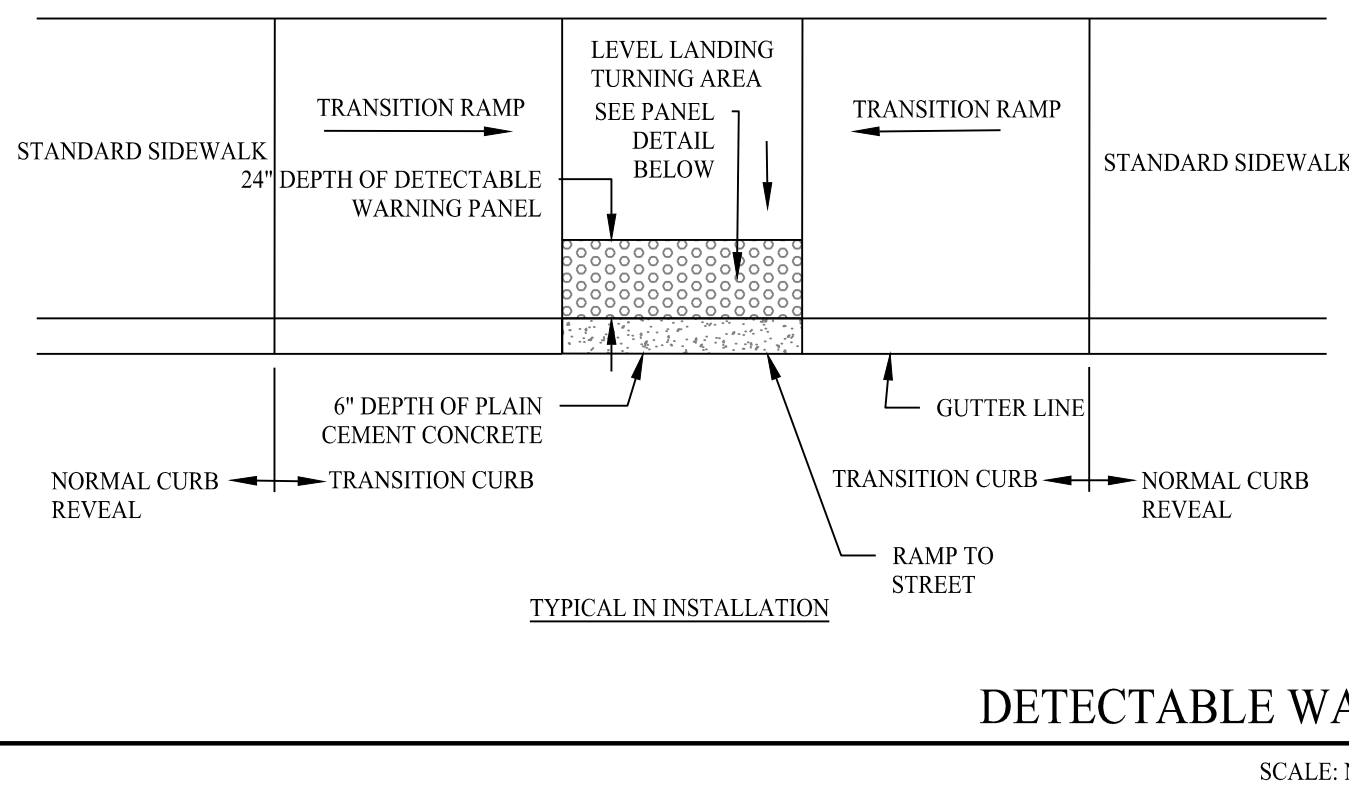
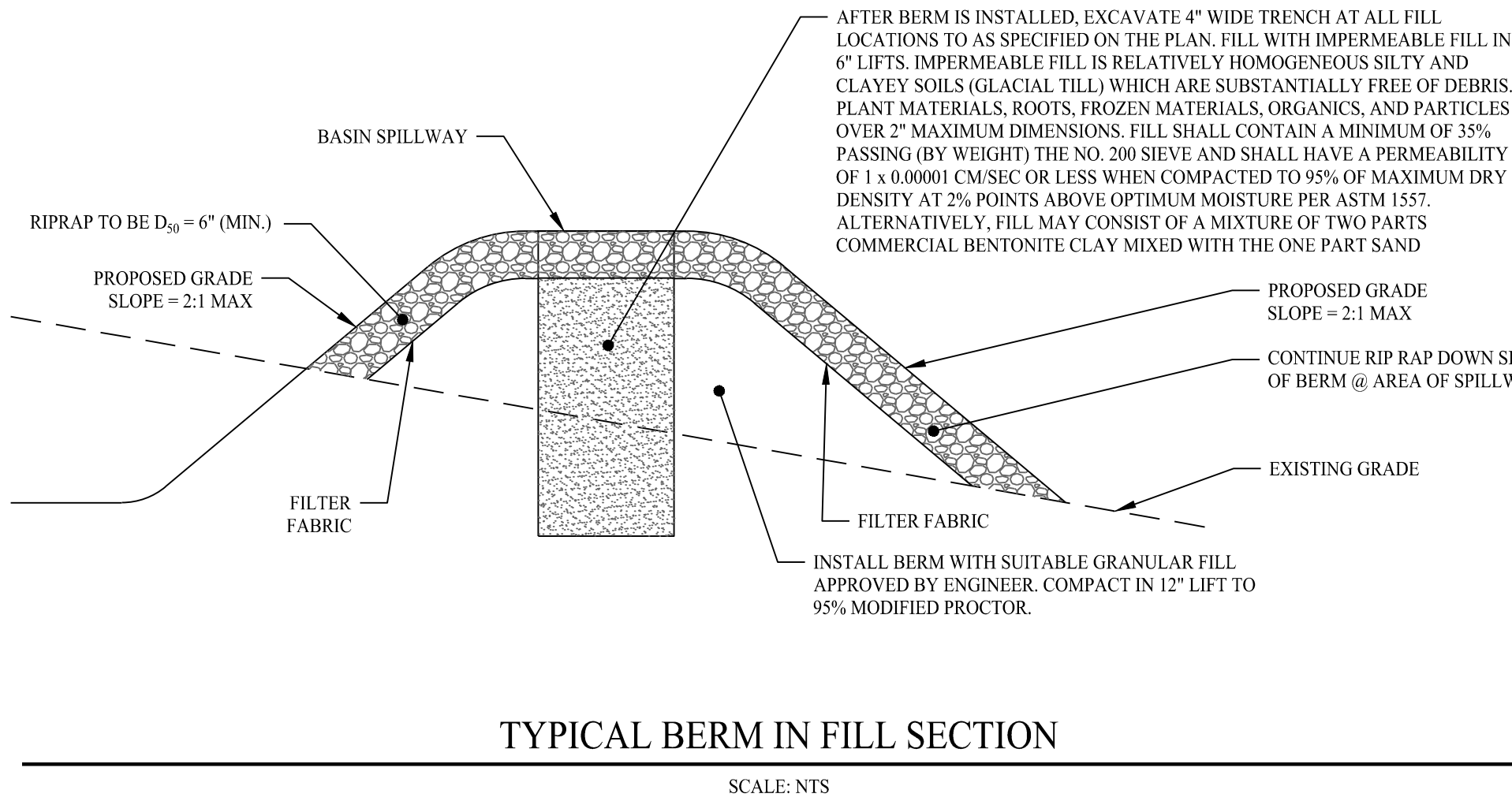
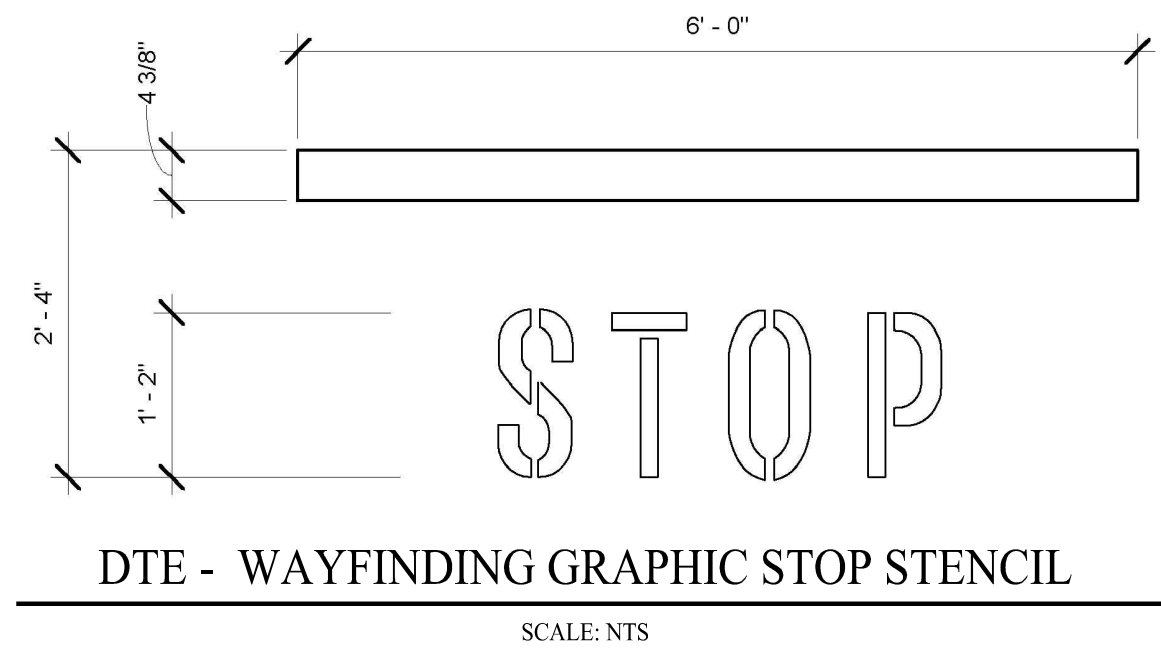
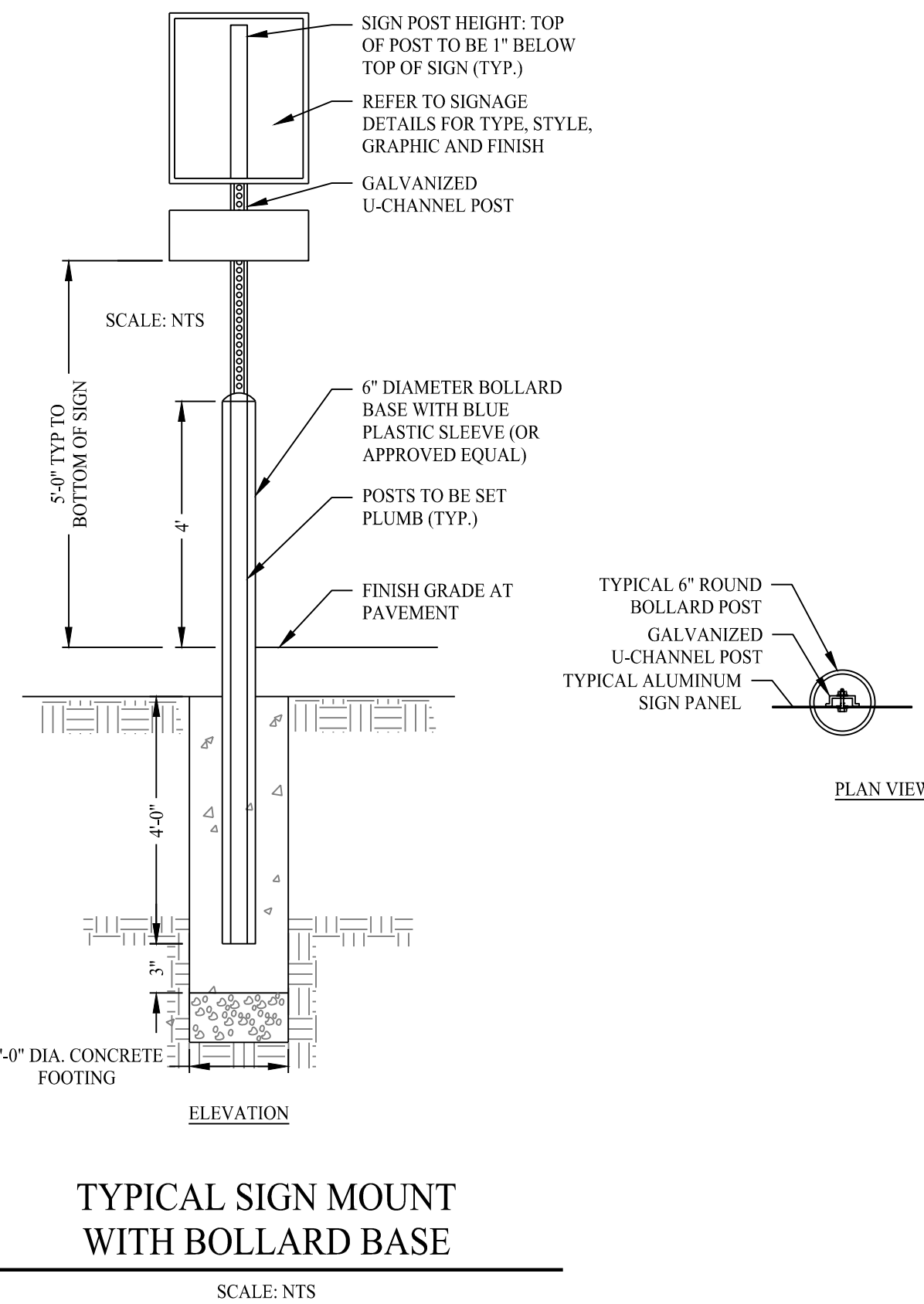
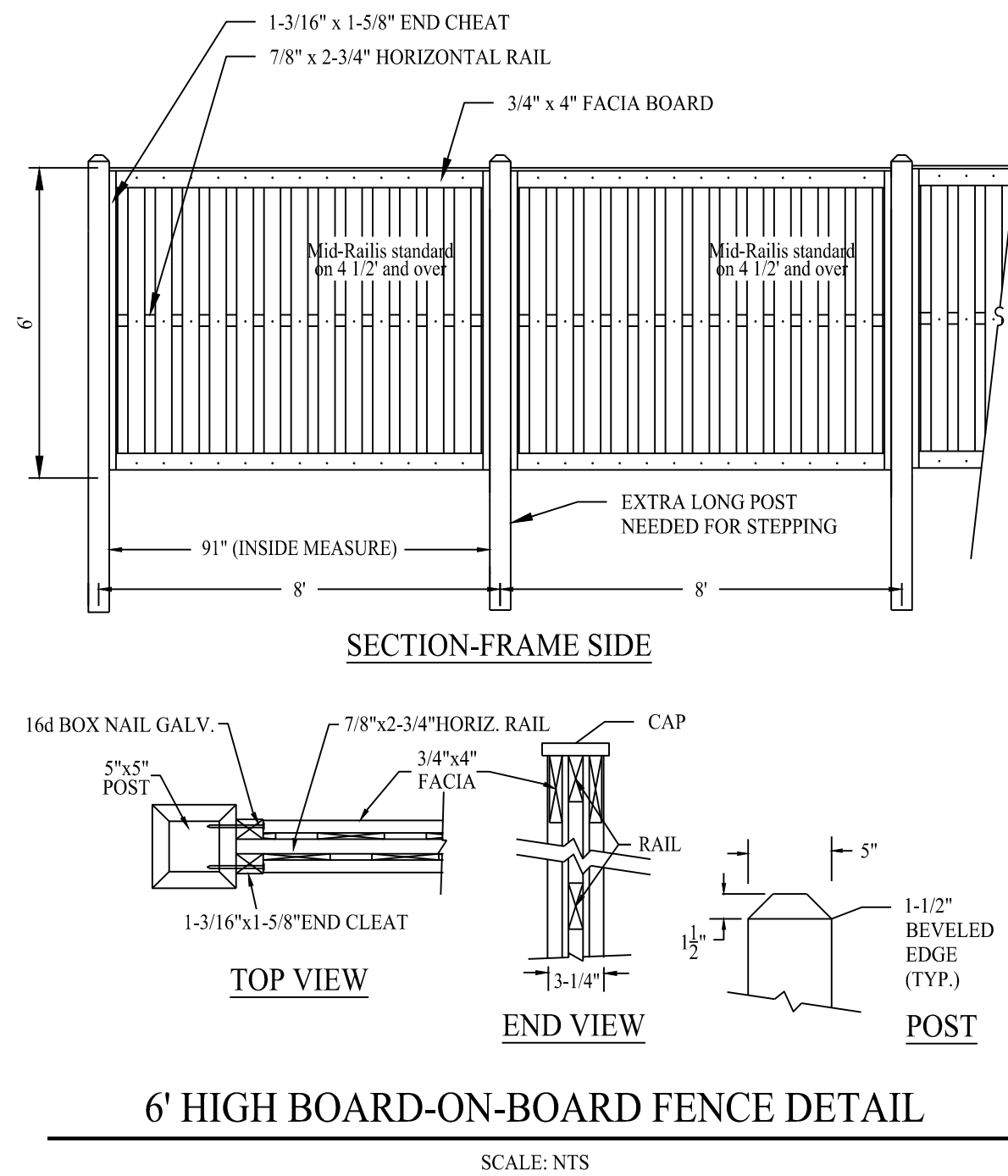
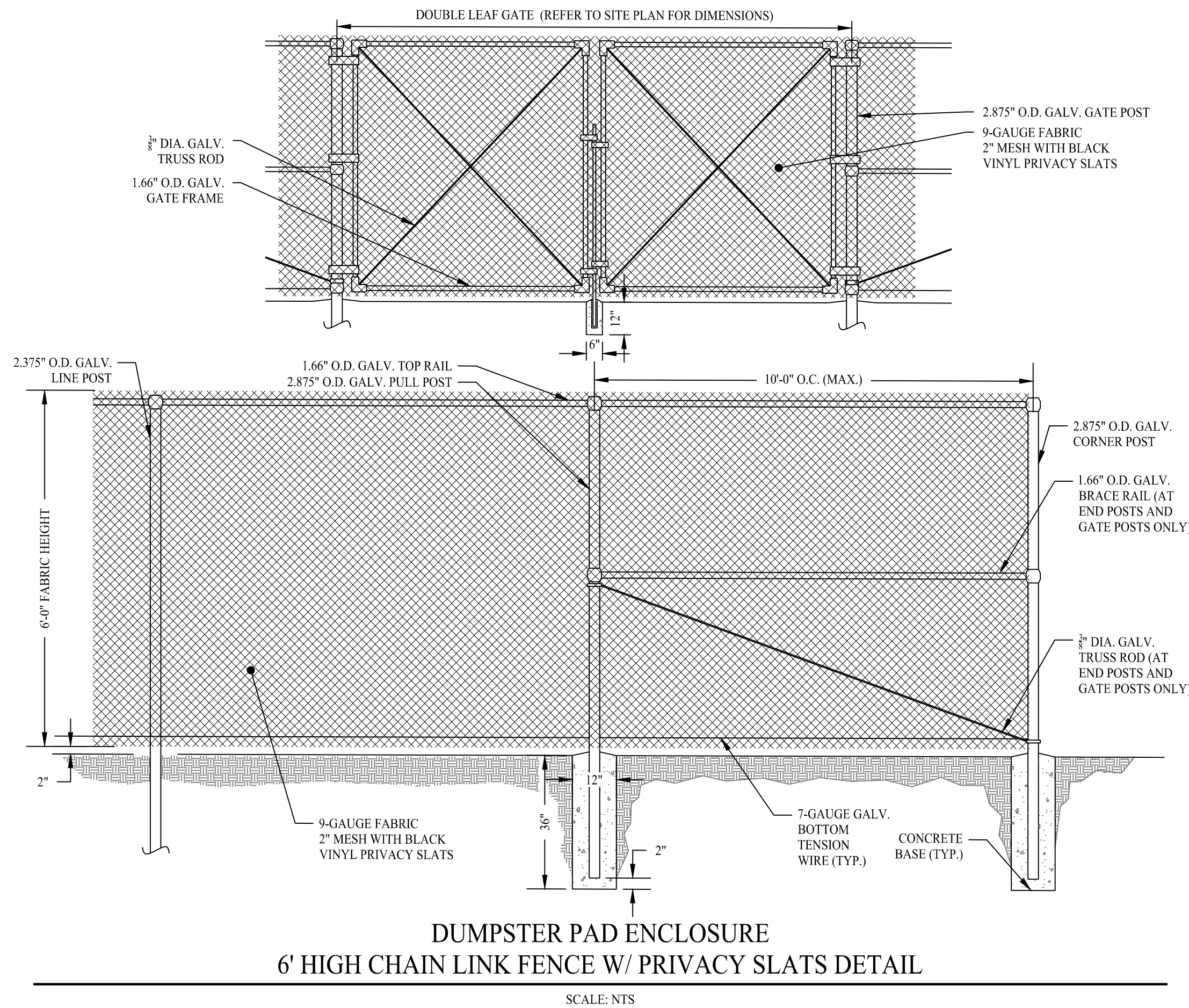
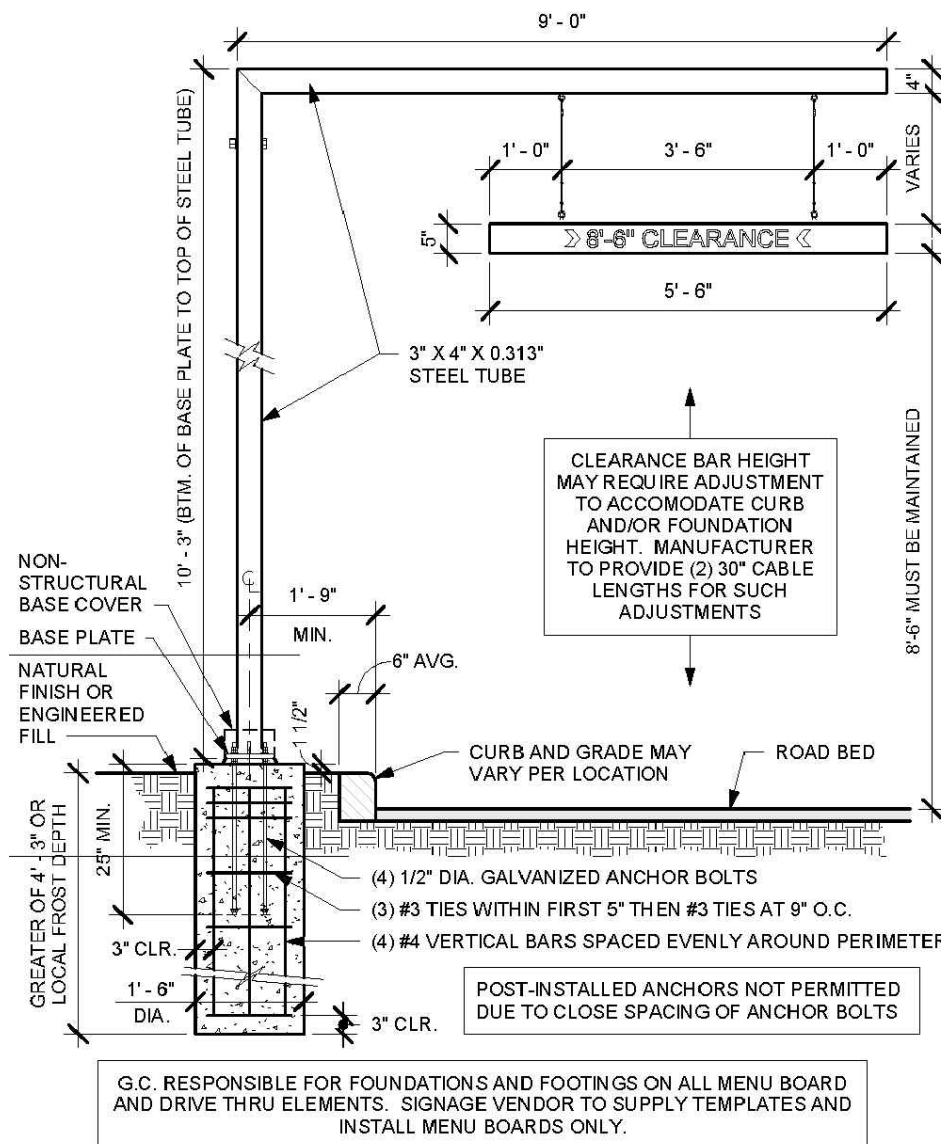
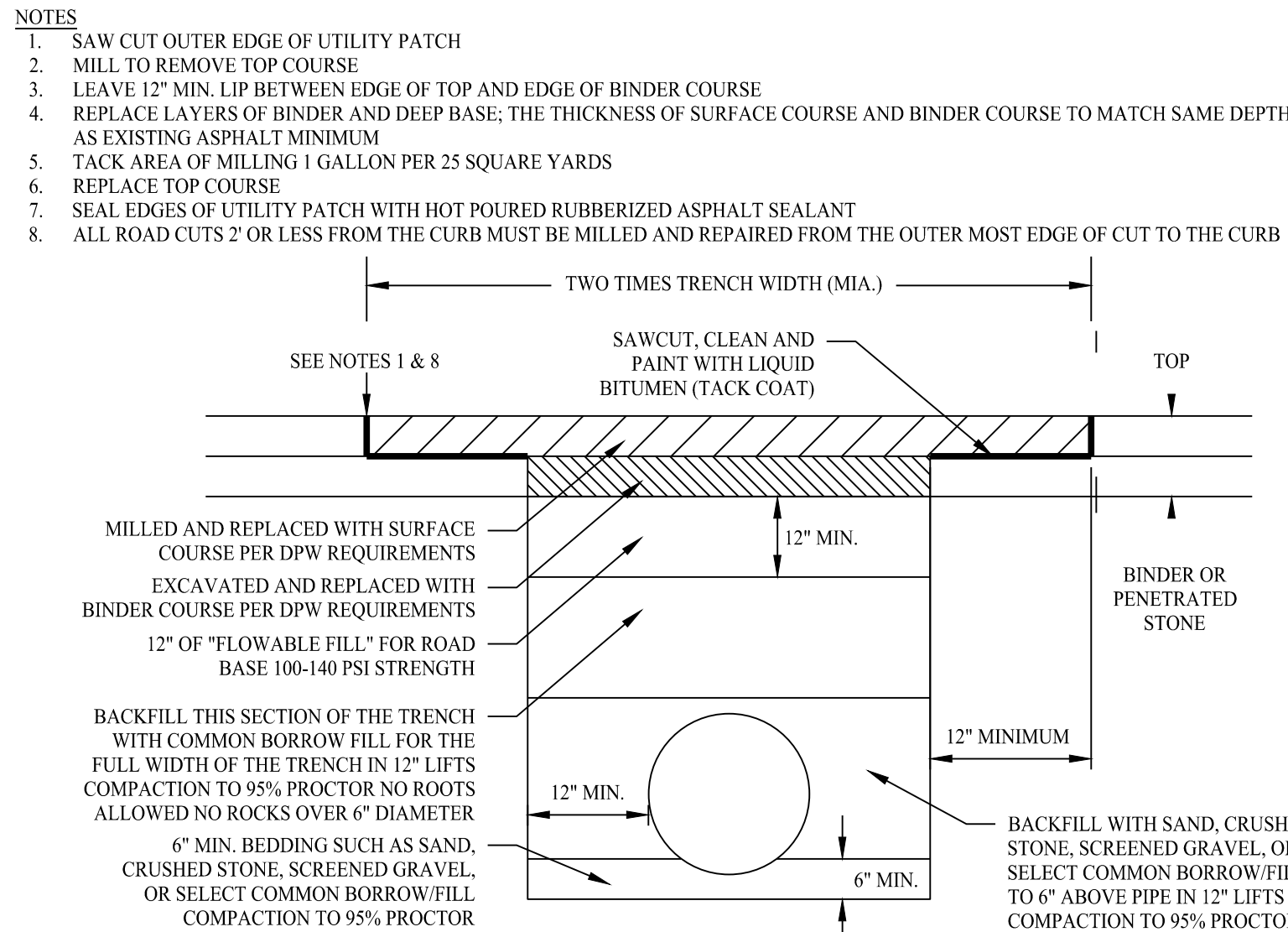
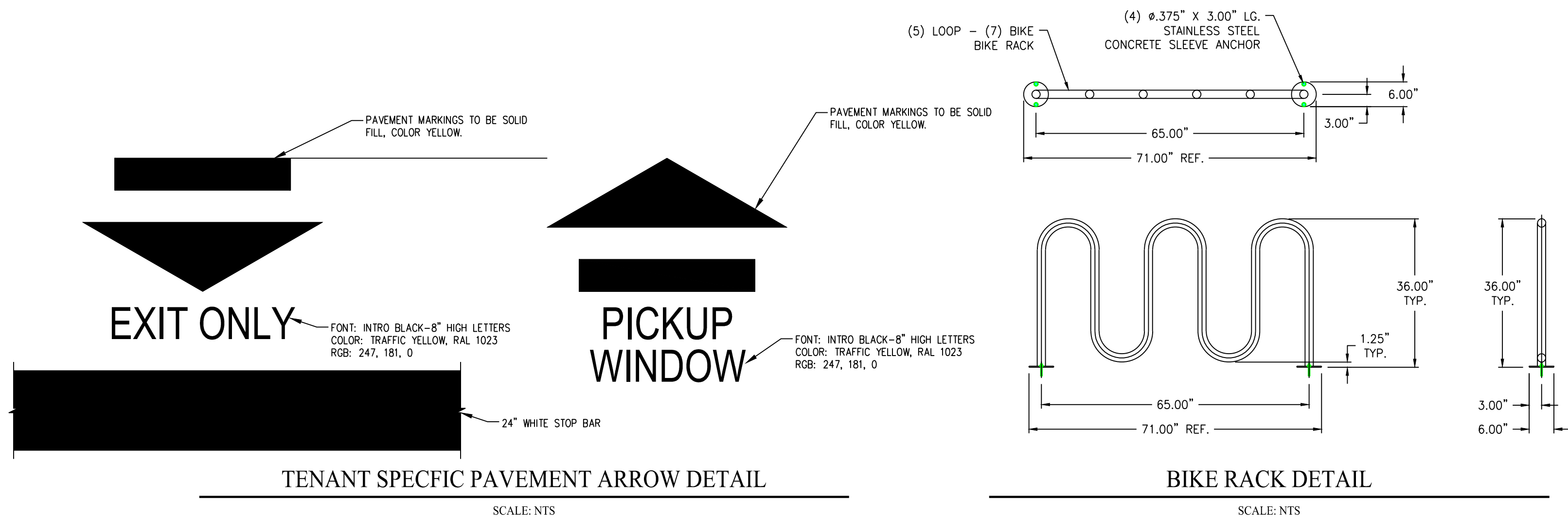
**BRIDGE STREET
LANDING**
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title:

**LIGHTING
PLAN**

Sheet #:

2.71



DRACUT PLANNING BOARD

Project: _____

Sheet Title: _____

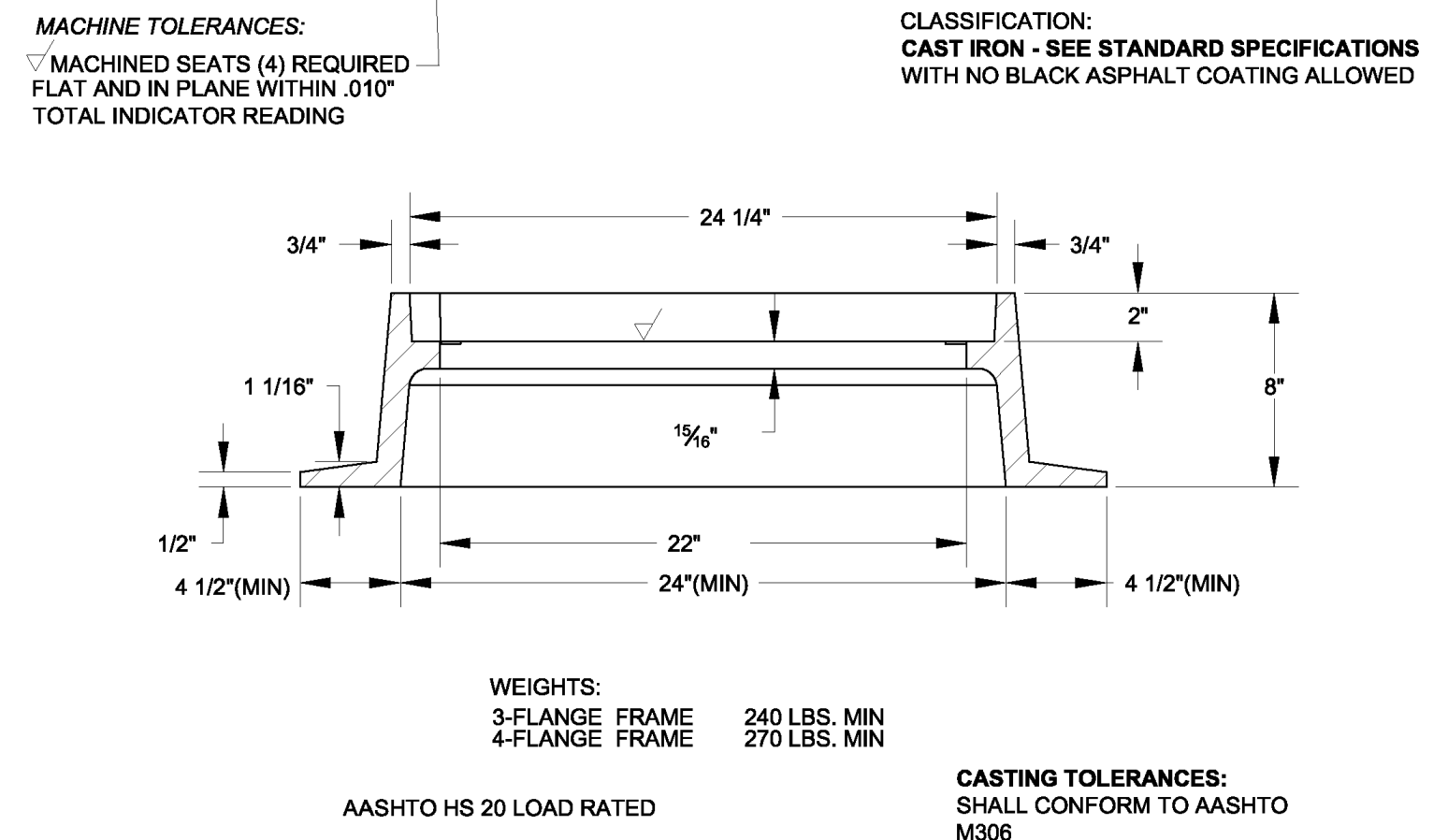
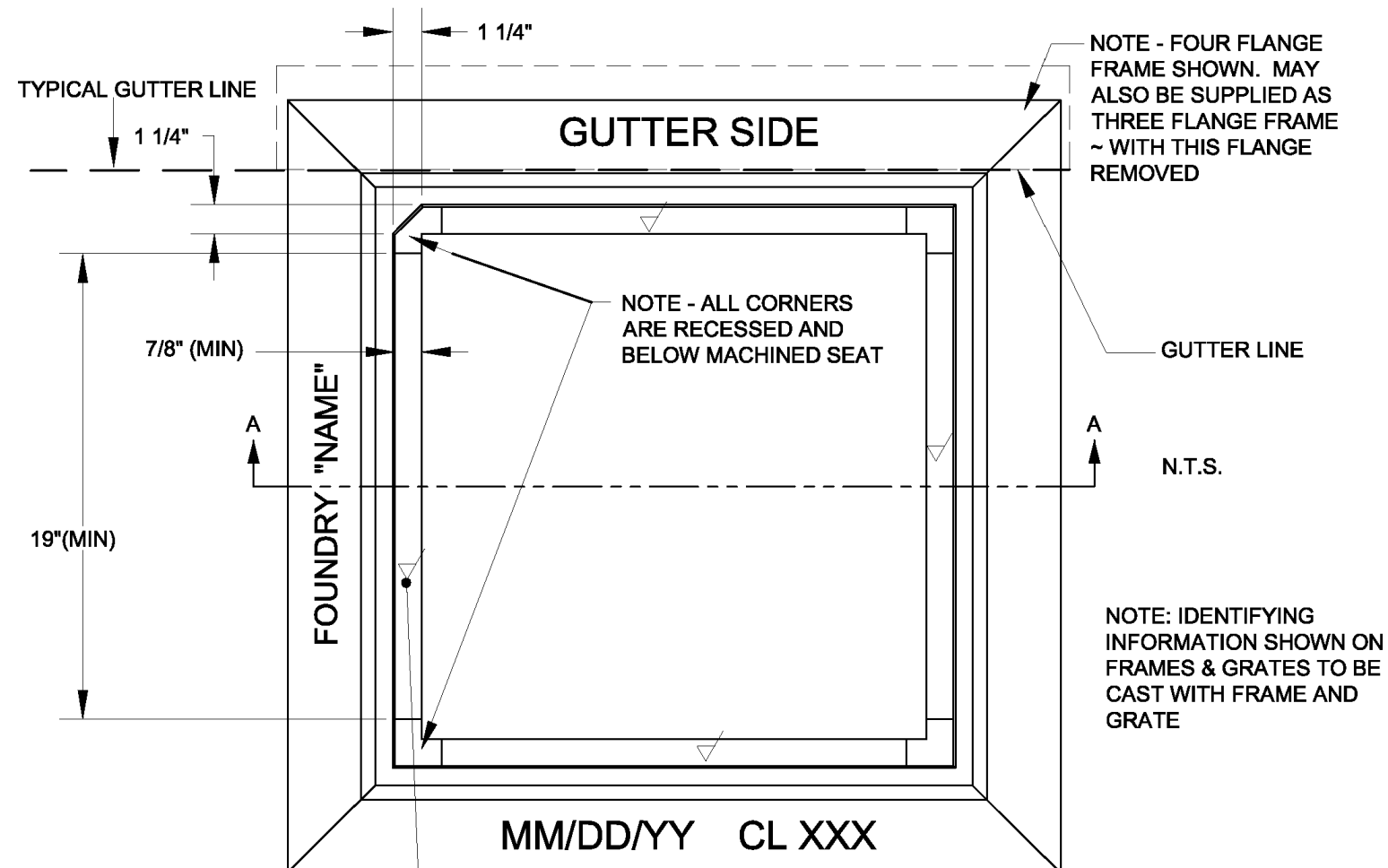
Sheet #: _____

DATE: _____

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

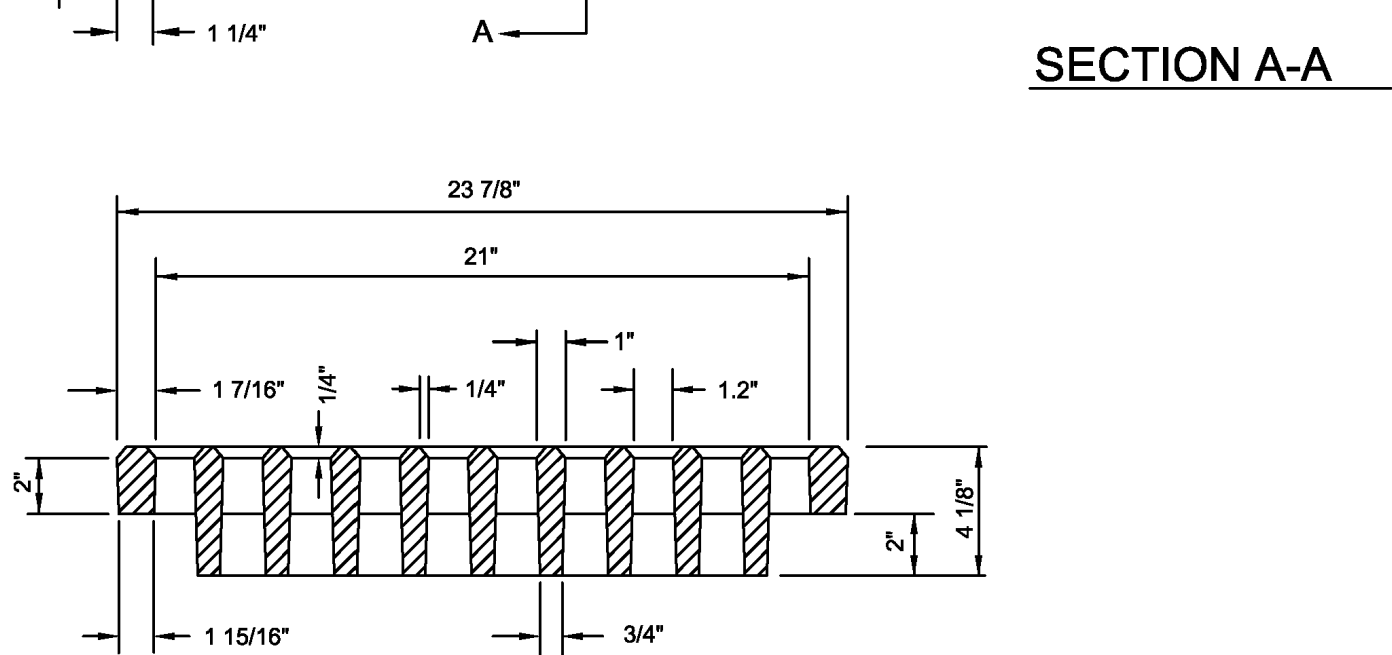
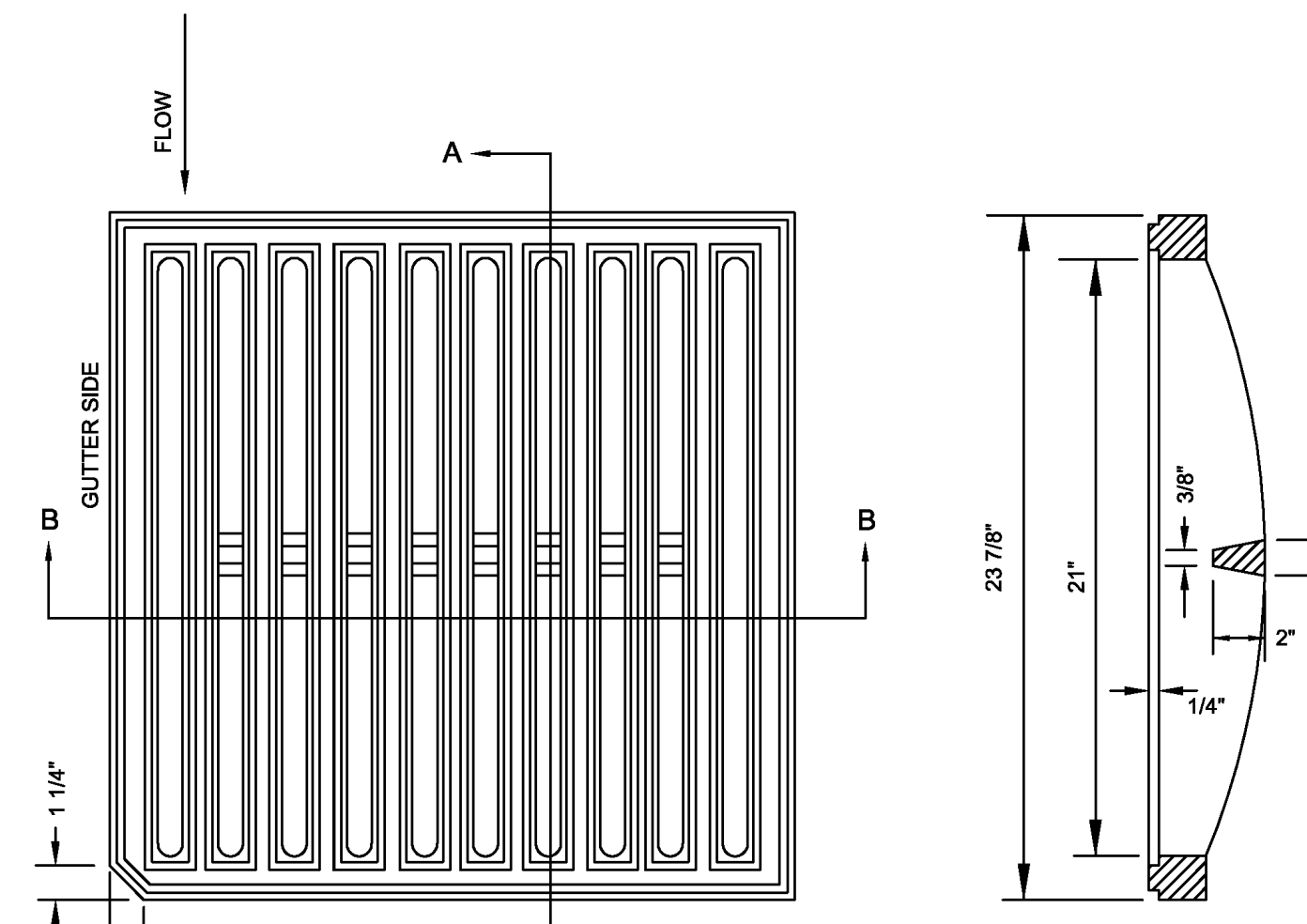
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Rev. #:	Date	Description
SOLLI ENGINEERING MONROE, CT W. HARTFORD, CT NORWOOD, MA SOLLIENGINEERING.COM T: (203) 880-5455 F: (203) 880-9695		
Drawn By: PDS	Checked By: CJB	Approved By: KMS
Project #: 22203701	Plan Date: 12/18/24	Scale: NTS
Project: BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS		
Sheet Title: CONSTRUCTION DETAILS	Sheet #: 3.02	





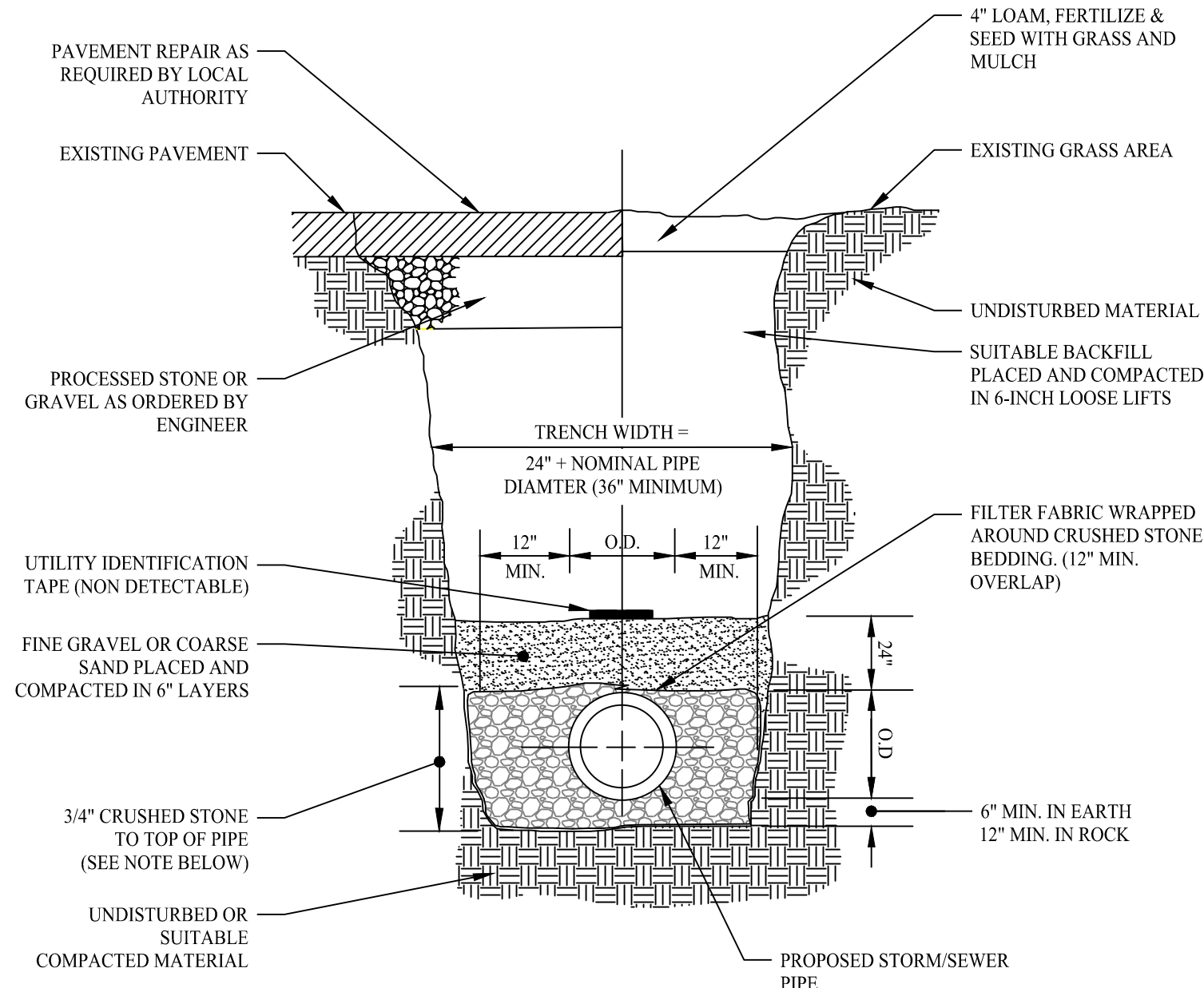
CATCH BASIN FRAME DETAIL

SCALE: NTS DETAIL PROVIDED BY MASSDOT



CATCH BASIN GRATE DETAIL

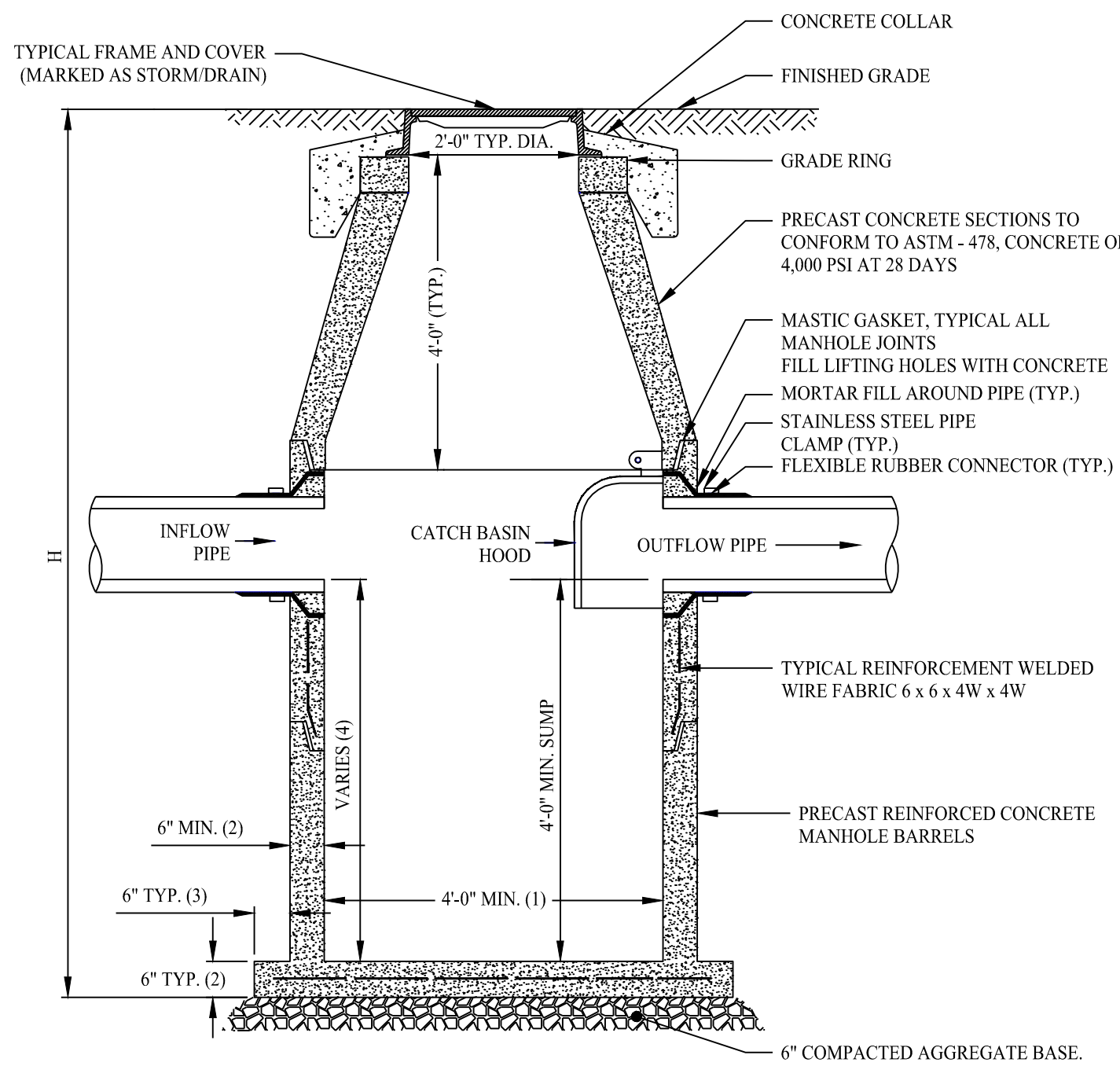
SCALE: NTS DETAIL PROVIDED BY MASSDOT



- NOTES:
- SUITABLE BACKFILL TO BE COMPACTED TO 95% MAX. DRY DENSITY IN LIFTS (6" TYPICAL) PER ASTM A1557/AASHTO T-99.
 - SPECIAL FOUNDATION MAY BE REQUIRED AS DIRECTED BY CIVIL ENGINEER IN AREAS OF PEAT OR UNSUITABLES.
 - TRENCH SUPPORT SYSTEMS TO BE USED PER OSHA STANDARDS.

STORM / SEWER TRENCH SECTION DETAIL

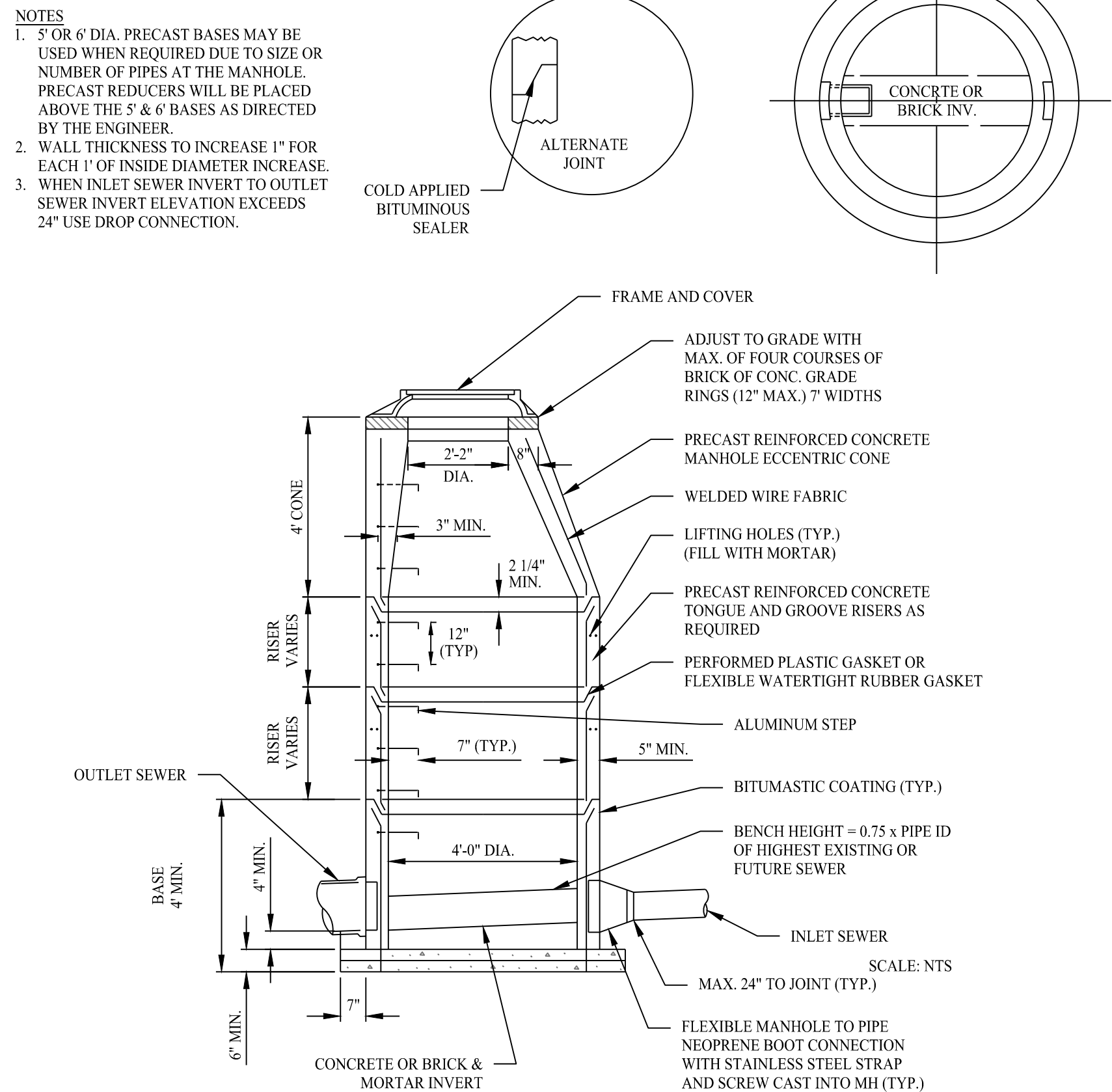
SCALE: NTS



- NOTES:
- 5'-0" DIAMETER FOR ALL MANHOLE DEPTHS GREATER THAN 20 FEET
 - 6" MIN. WALL THICKNESS AND 7 INCH MIN. BASE THICKNESS WITH 5'-0" DIAMETER MANHOLES
 - 6" LIP OPTIONAL UNLESS OTHERWISE NOTED
 - IN SOME INSTALLATIONS, THE INFLOW PIPE WILL BE LOWER THAN THE OUTFLOW PIPE, AND THE SUMP DEPTH WILL BE GREATER THAN 4'-0" TO MAINTAIN A MINIMUM DISTANCE OF 2'-6" FROM THE INVERT OF THE INFLOW PIPE TO THE BOTTOM OF THE SUMP
 - ALL PRECAST MANHOLES / CATCH BASINS SHALL BE SOURCED FROM LOCAL PRECAST SUPPLIERS; SHOP DRAWINGS SHALL BE SUBMITTED TO CIVIL ENGINEER OF RECORD FOR REVIEW AND APPROVAL

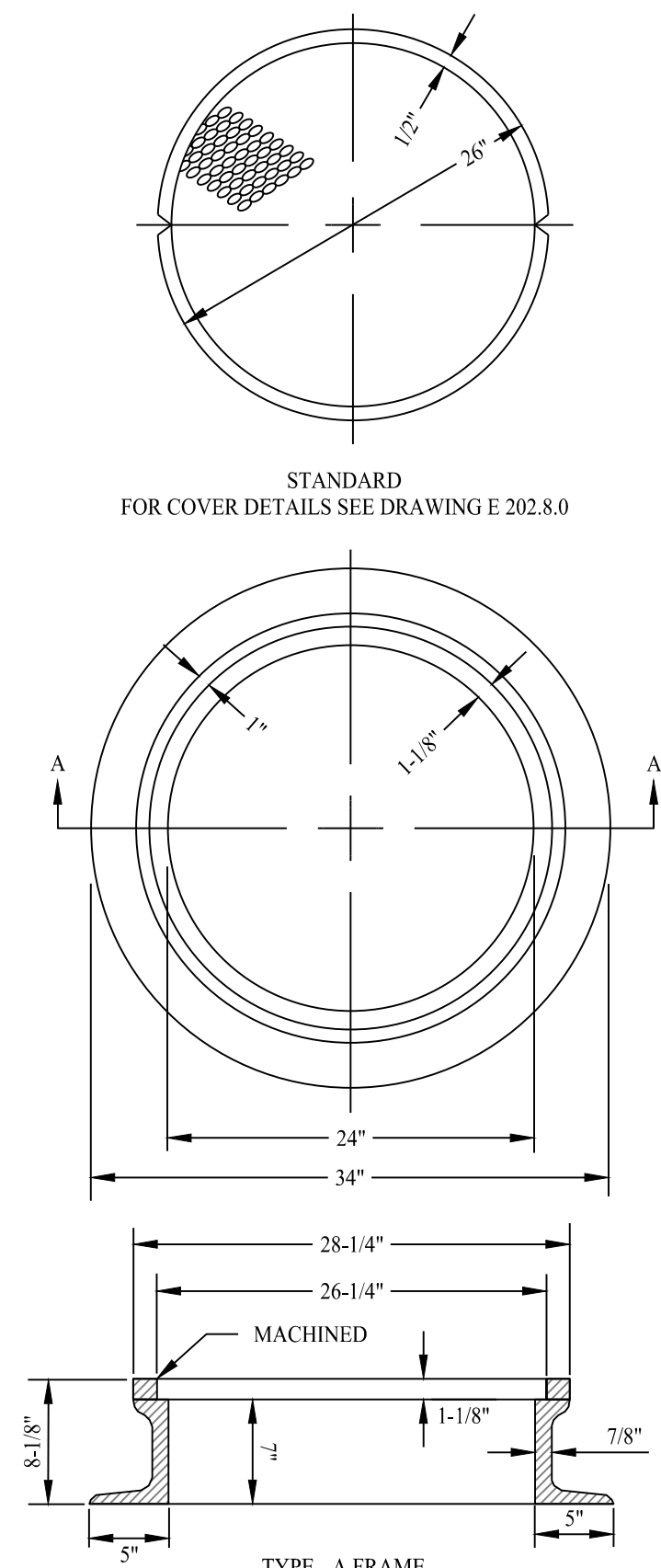
PRECAST CATCH BASIN / MANHOLE DETAIL

SCALE: NTS



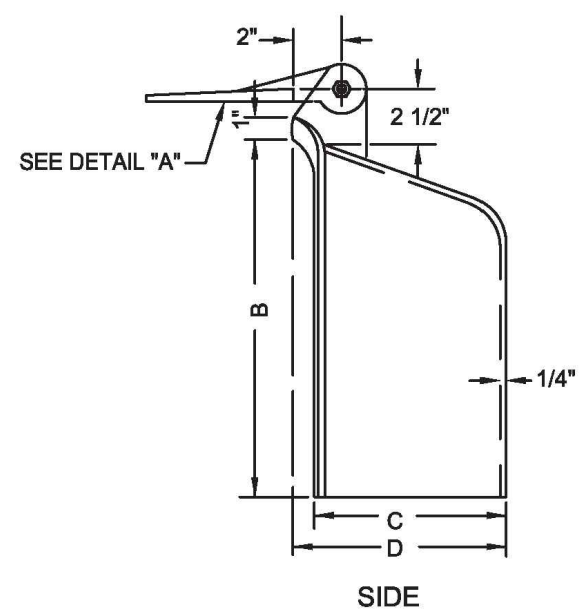
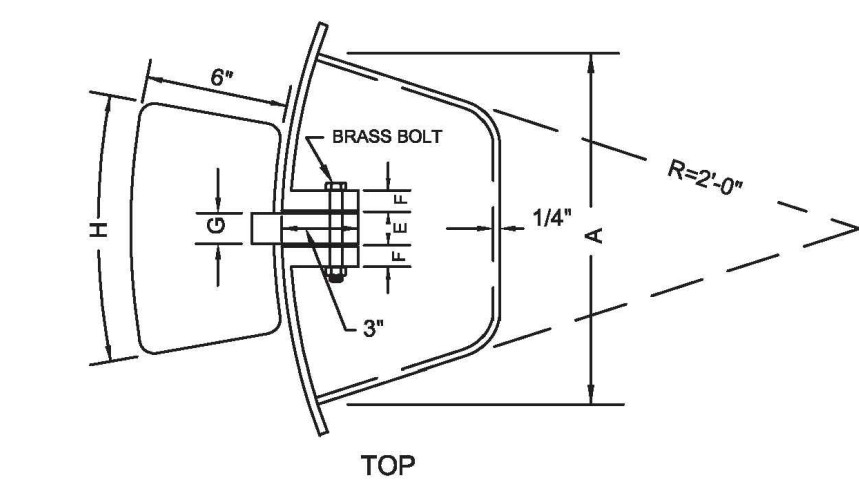
PRECAST SANITARY MANHOLE

SCALE: NTS



MANHOLE FRAME AND COVER

SCALE: NTS

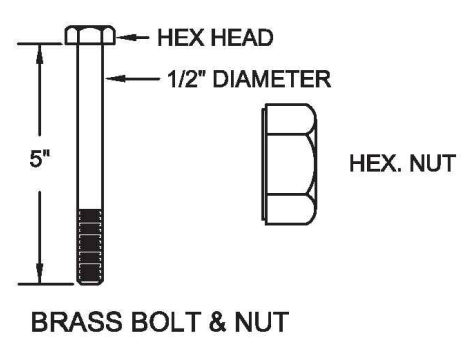
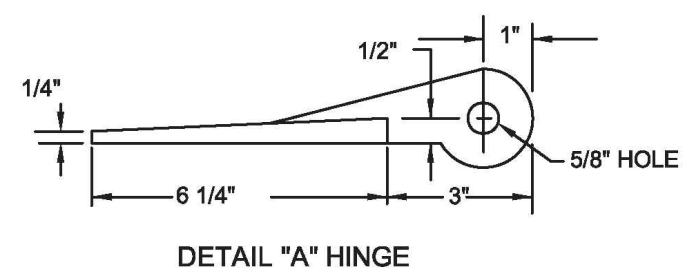


- NOTE:
- HOODS TO BE GRAY CAST IRON - SEE STANDARD SPECIFICATIONS WITH NO BLACK ASPHALT COATING ALLOWED

CATCH BASIN HOOD DETAIL

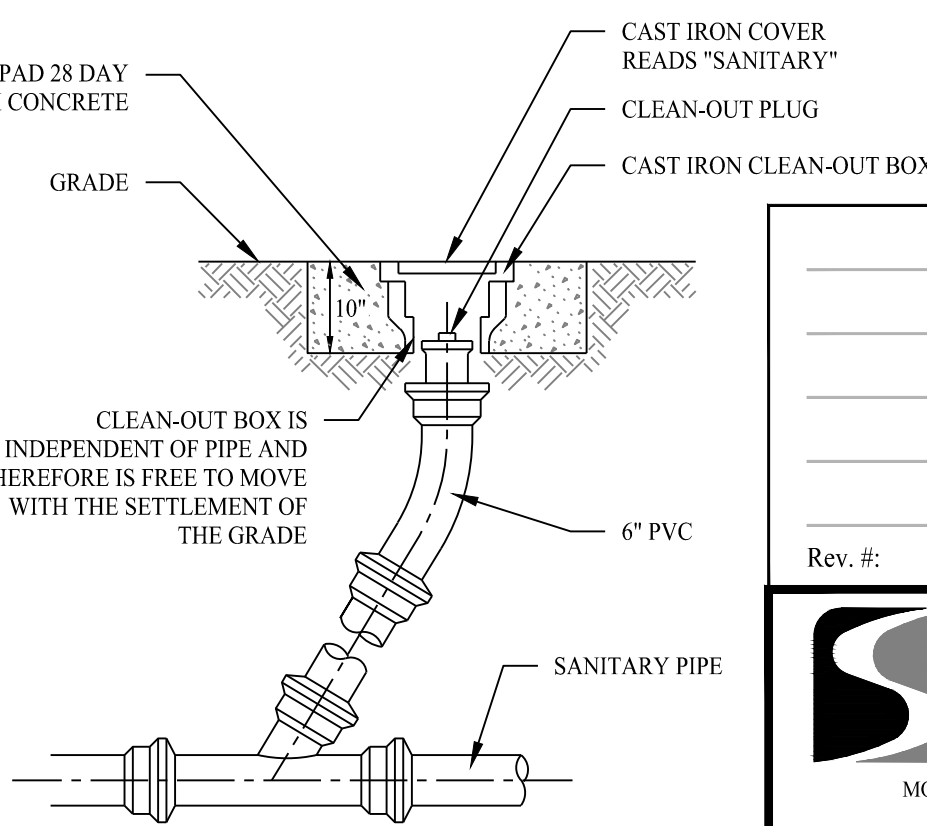
SCALE: NTS

DIMENSIONS (in.)	A	B	C	D	E	F	G	H
8" and 10" PIPE	15	15	8	9	2	7/8	1 7/8	14
12" and 15" PIPE	18	18	10	11 1/4	2	1	1 7/8	14



CATCH BASIN HOOD DETAIL

DETAIL PROVIDED BY MASSDOT



SANITARY CLEANOUT DETAIL

SCALE: NTS

DRACUT PLANNING BOARD

THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.



Drawn By: PDS
Checked By: CJB
Approved By: KMS
Project #: 22205701
Plan Date: 12/18/24
Scale: NTS



BRIDGE STREET
LANDING
5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

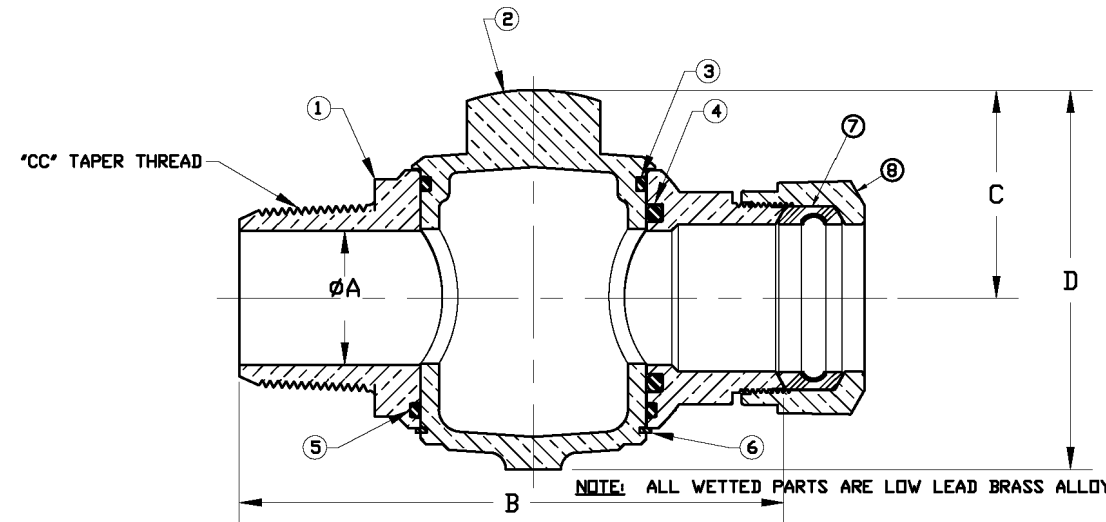
Sheet Title:
CONSTRUCTION
DETAILS

Sheet #:

3.03

No.	DESCRIPTION	DESCRIPTION
1	BODY	CAST LOW LEAD BRASS ALLOY
2	KEY	CAST LOW LEAD BRASS ALLOY
3	ORING	EPDM 30000
4	ORING	EPDM 30000
5	ORING	EPDM 30000
6	RETAINING RING	BERYLLIUM COPPER ASTM B197
7	CTS GSKT SUB	316L SS 1/2" - 1/2" 150
8	CONNEX NUT	CAST BRASS ASTM B62 ALLOY C83600

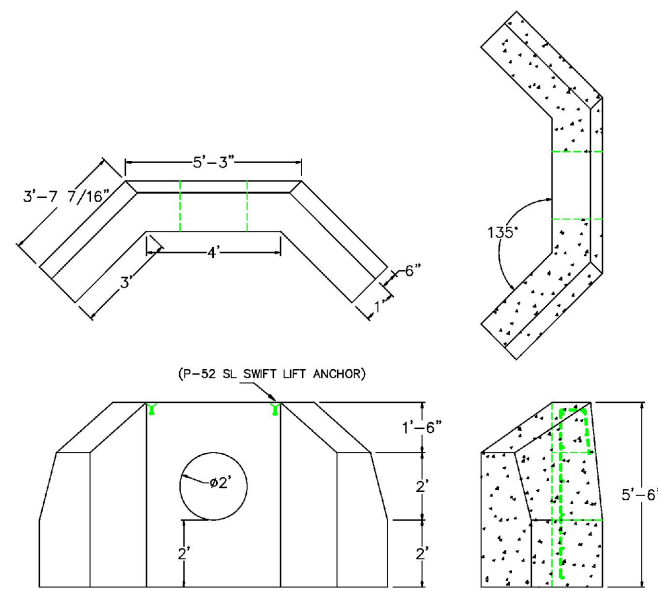
SIZE	SA	B	C	D	KEY HEAD
1-1/2"	150	6.11	2.38	4.65	56 x 150
2"	194	7.66	2.47	4.98	162 x 175



CORPORATION STOP DETAIL
(MUELLER MODEL NO. H-15013 OR AS
APPROVED BY DRACUT WATER DEPT.)

SCALE: NTS

DETAIL PROVIDED BY MUELLER COMPANY

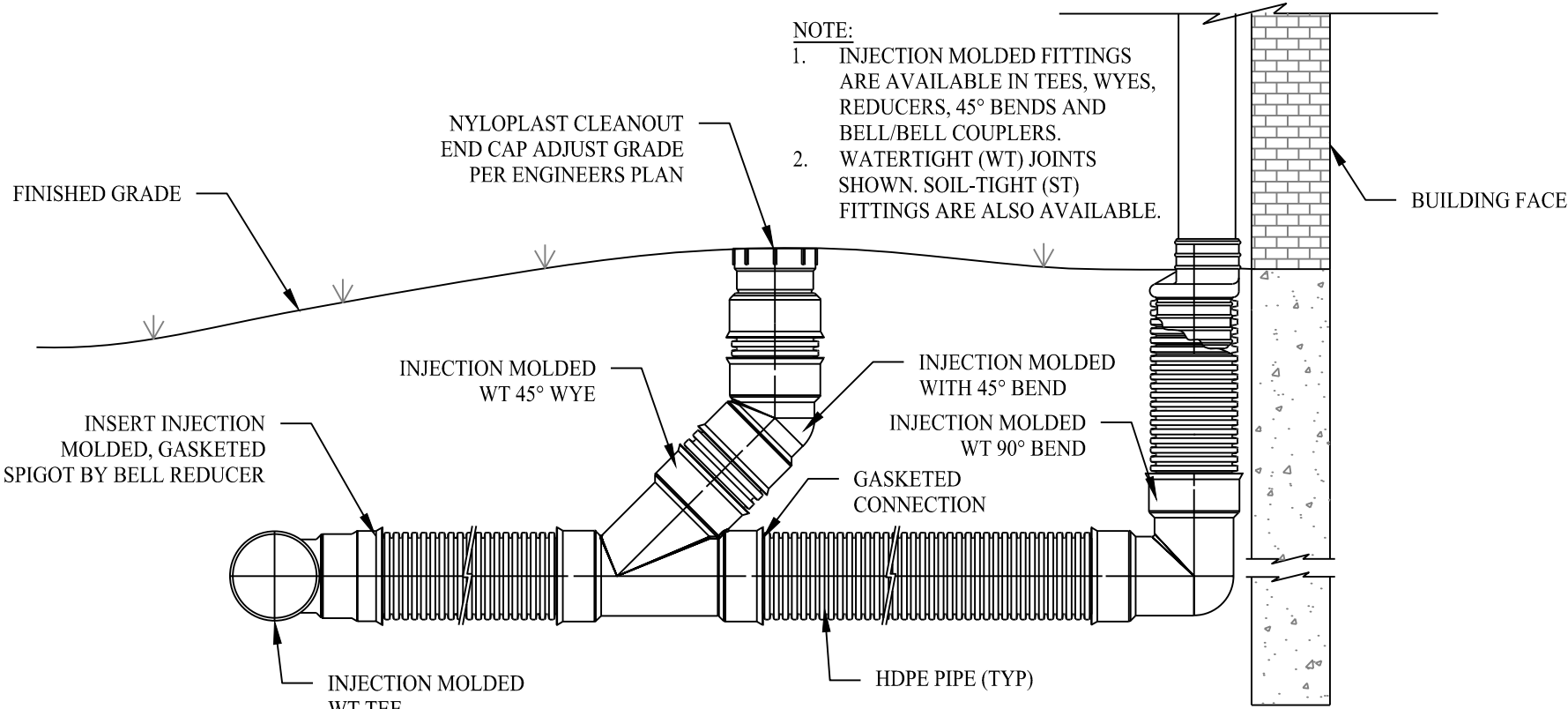


DESIGN NOTES:
1. CONCRETE 5,000 PSI @ 28 DAYS
2. REINFORCEMENT ASTM A-615 GRADE
60, 2" MIN. COVER TO REBAR 12" C/SW
4. UNIT WEIGHT 10,320 lbs.

CONCRETE HEADWALL
(18" PIPE)

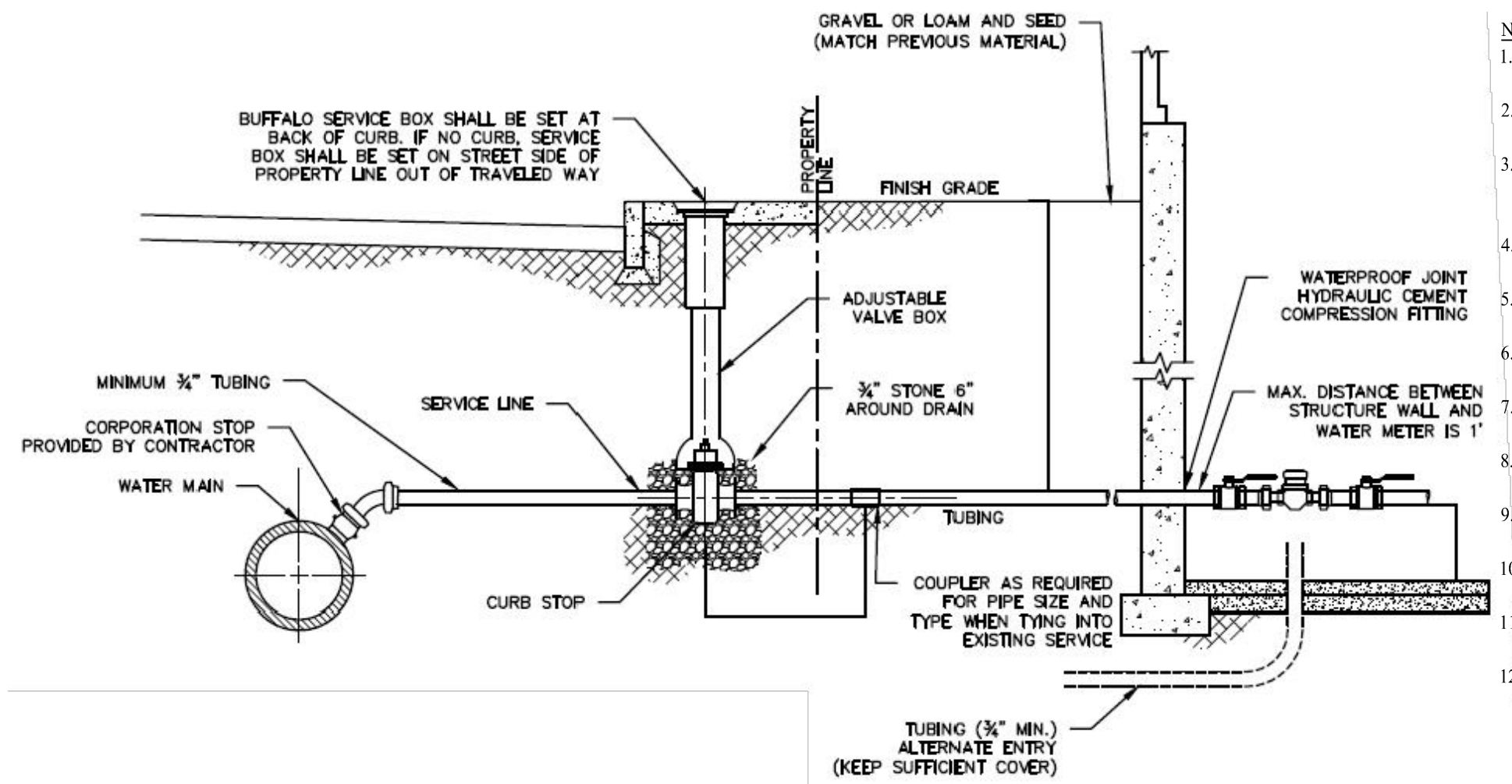
SCALE: NTS

DETAIL PROVIDED BY SCITUATE PRECAST



DOWNSPOUT CONNECTION DETAIL

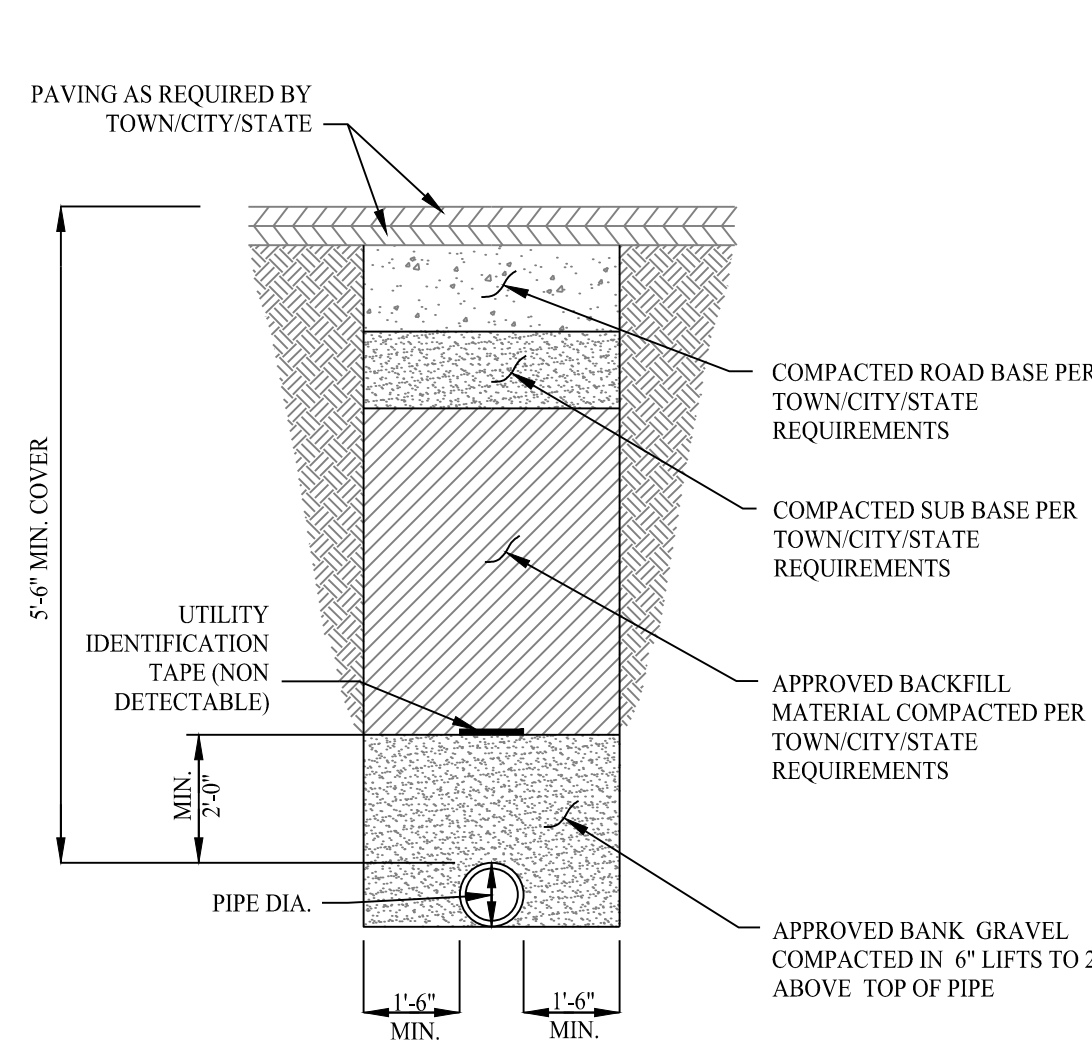
SCALE: NTS



- NOTES:
- NO WATER PIPE DEPTH SHALL EXCEED 5 FEET FROM FINISHED GRADE
 - CONTRACTOR RESPONSIBLE FOR CONTRACTING CALL BEFORE YOU DIG PRIOR TO EXCAVATION
 - TRENCH SHALL NOT BE BACKFILLED UNTIL SERVICE HAS BEEN INSPECTED AND APPROVED BY DRACUT WATER PROVIDER
 - WATER SHALL BE TURNED ON BY DRACUT WATER PROVIDER ONLY AFTER APPROVAL
 - ONLY CONTRACTORS APPROVED BY DRACUT WATER PROVIDER SHALL MAKE TAP
 - WATER SERVICE LINES AND METER SHALL BE SIZED BY DRACUT WATER PROVIDER
 - ALL COMPACTION SHALL BE BY MECHANICAL MEANS AT NO GREATER THAN 12 INCH LIFTS
 - SERVICE SHALL BE FLUSHED BEFORE ACTIVATING TO AVOID METER CLOGGING
 - THERE SHALL BE A HORIZONTAL SEPARATION OF 10 FEET FROM ANY SEWER SERVICE OR MAIN
 - EXISTING CORPORATION SHALL BE CLEANED WHEN A SERVICE IS RENEWED
 - SERVICE SHALL BE LAID PERPENDICULAR TO THE WATER MAIN UNTIL PROPERTY LINE
 - DRACUT WATER PROVIDER RESERVES THE RIGHT TO MODIFY STANDARDS AT THEIR DISCRETION

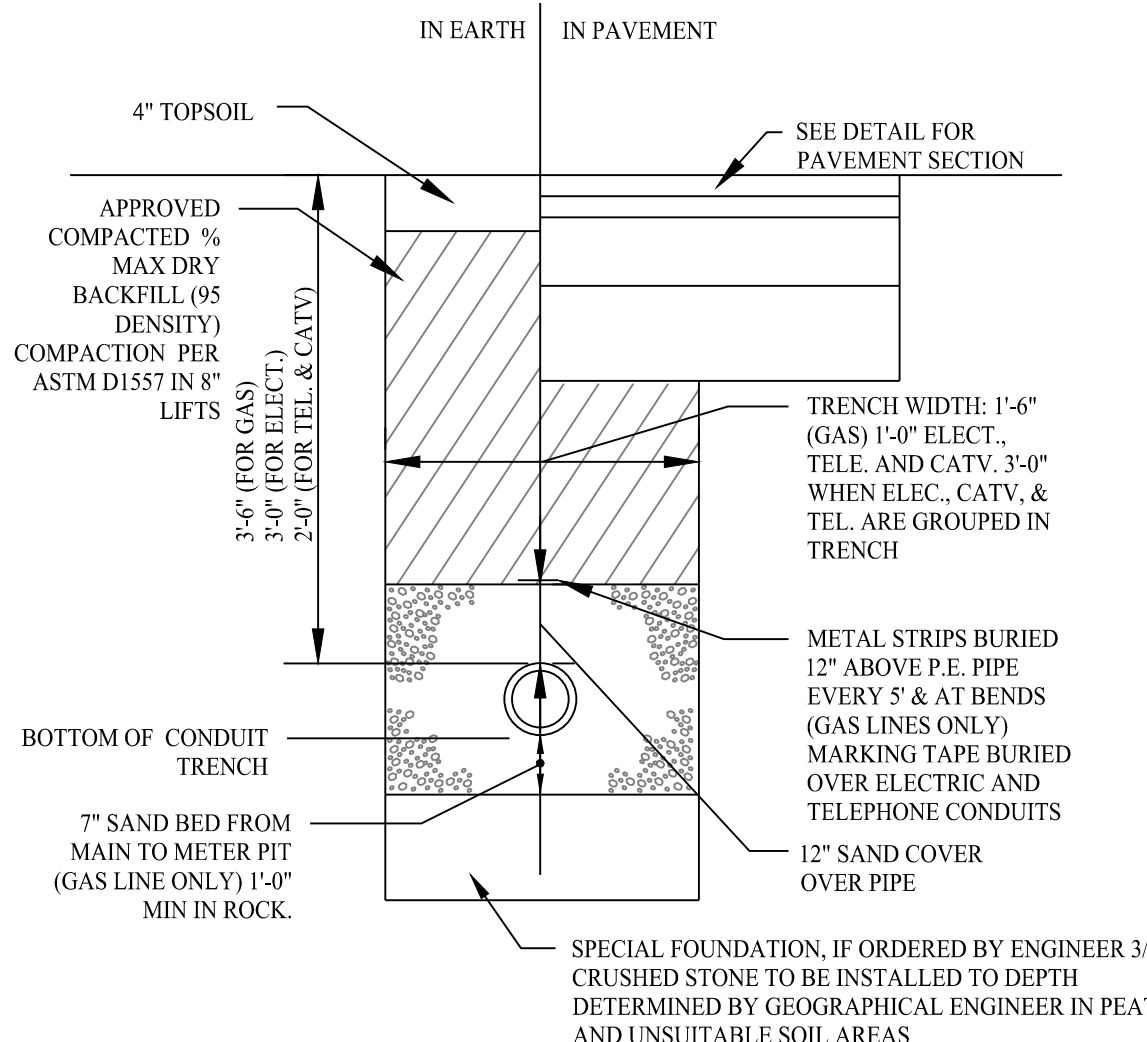
TYPICAL WATER SERVICE CONNECTION DETAIL

SCALE: NTS



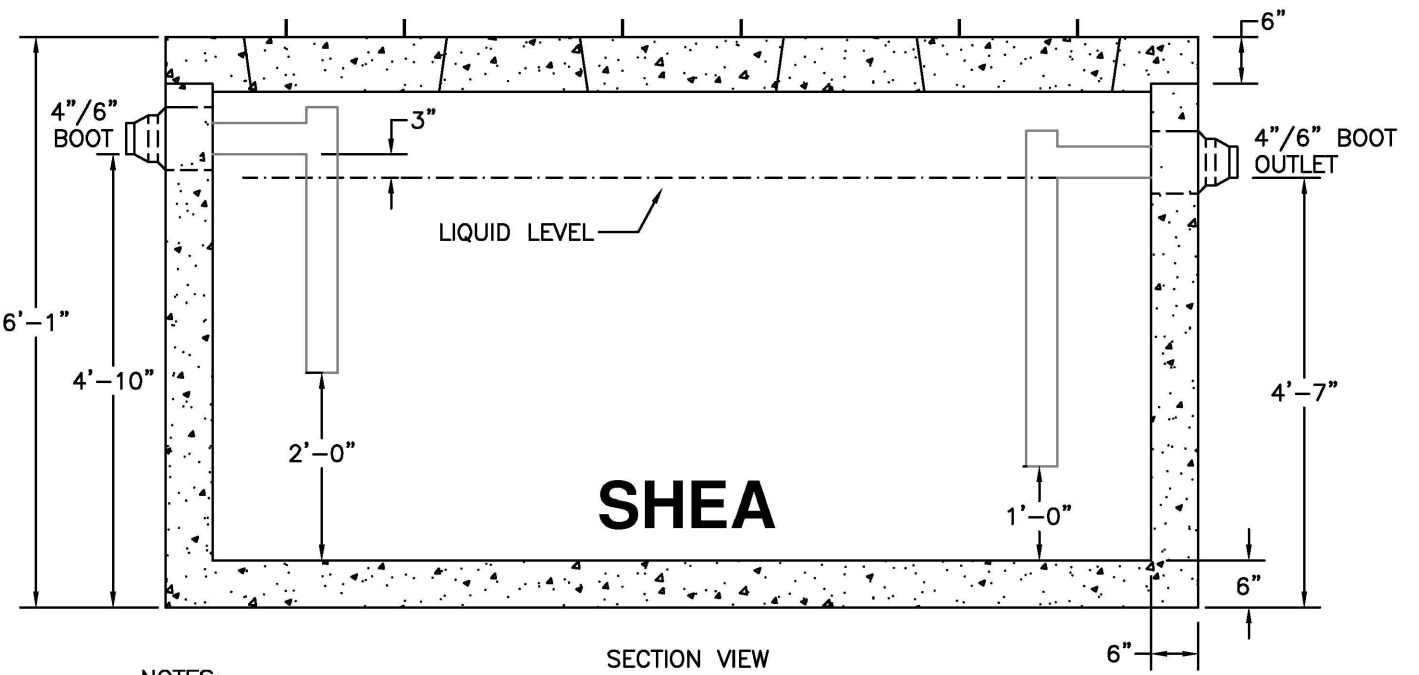
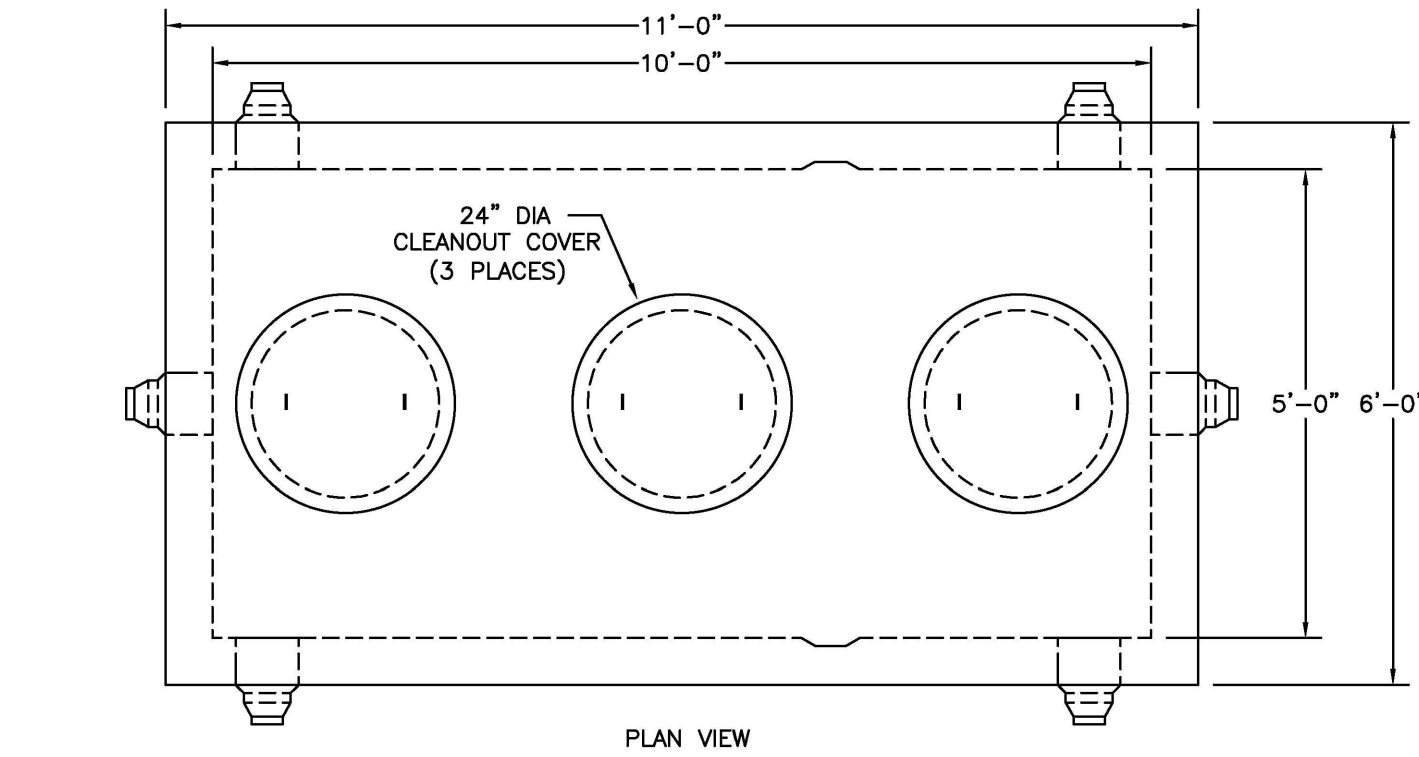
TYPICAL WATER
SERVICE TRENCH

SCALE: NTS



ELECTRICAL, TELEPHONE AND
GAS TRENCH

SCALE: NTS

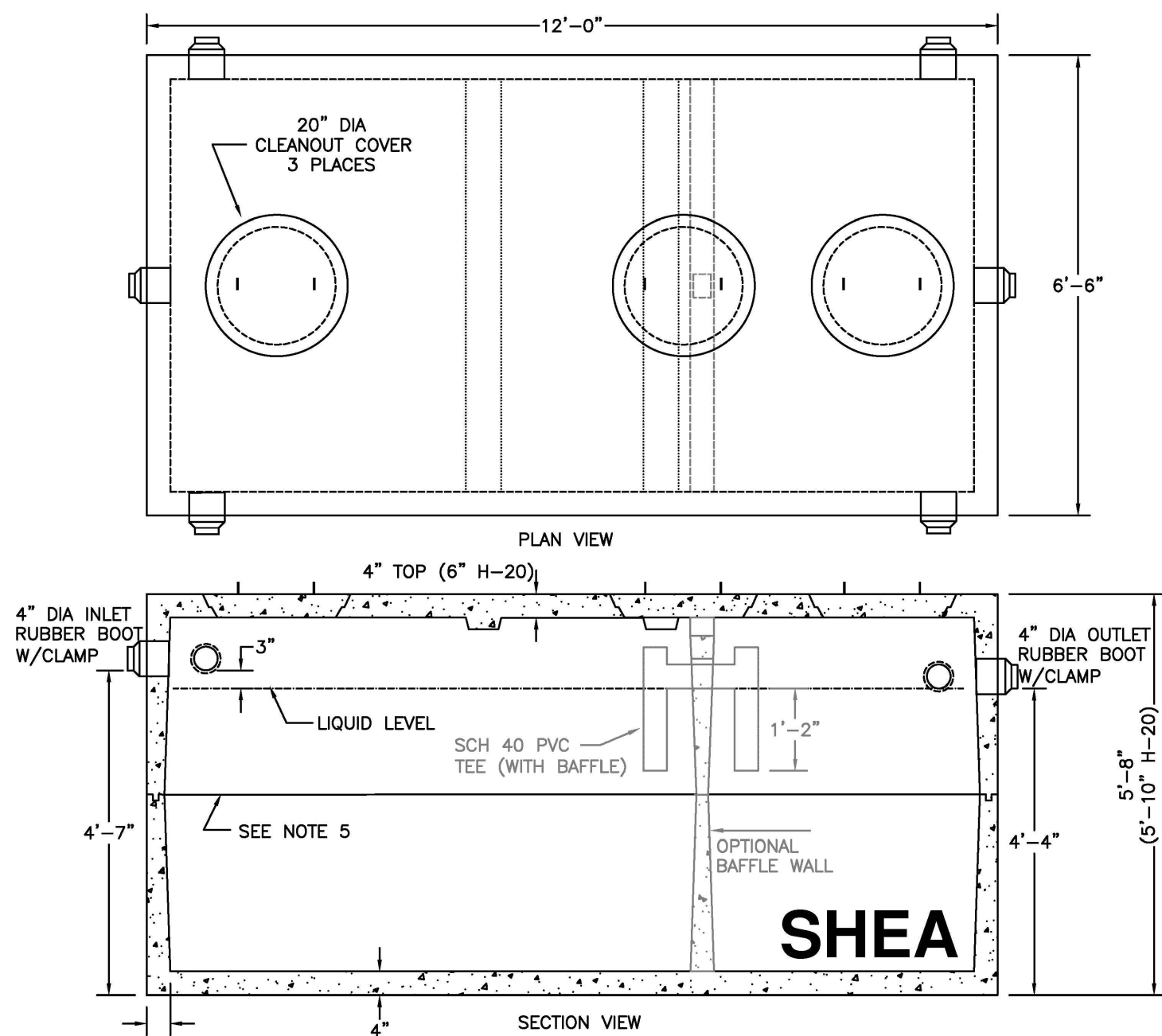


- NOTES:
- CONCRETE: 5,000 PSI MINIMUM AFTER 28 DAYS.
 - DESIGN CONFORMS WITH 310 CMR 15.00, DEP TITLE 5 REGS. FOR GREASE TRAPS.
 - ALL REINFORCEMENT PER ASTM C1227.
 - DESIGNED FOR AASHTO HS-20 LOADING, 1 TO 5 FT COVER.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN
 - TEES AND BAFFLES SOLD SEPARATELY

ITEM NO.	TK-M1500C	22,600#	5,400#	17,200#
WEIGHT				
TOP				
BOTTOM				
	TK-M1500C2C	24,400#	5,400#	19,000#

1,500 GAL. GREASE TRAP DETAIL (OR APPROVED EQUAL)

SCALE: NTS

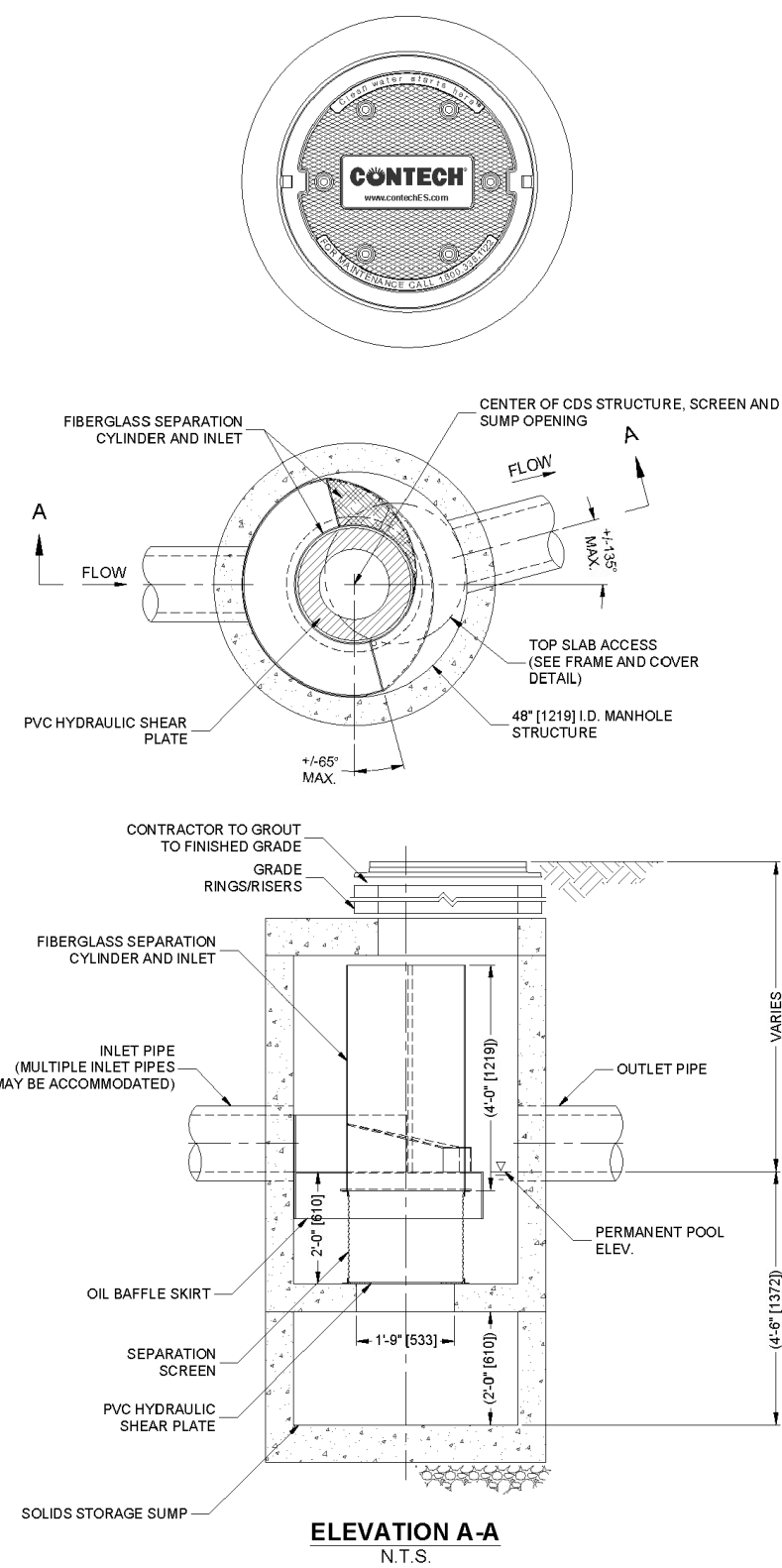


- NOTES:
- CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
 - CONSTRUCTION OF SEPTIC TANK CONFORMS WITH 310 CMR, SECTION 15.00 DEP TITLE 5 REGS.
 - ALL REINFORCEMENT PER ASTM C1227.
 - BAFFLE WALL OPTIONAL FOR TWO COMPARTMENT TANKS.
 - TEES AND GAS BAFFLE SOLD SEPARATELY.
 - TONGUE & GROOVE JOINT SEALED WITH BUTYL RESIN.
 - IF COVER EXCEEDS 4 FEET, HEAVY DUTY TANK REQUIRED. ALSO AVAILABLE IN AASHTO HS-20 LOADING.

ITEM NO.	2000	STANDARD	14,245#
WEIGHT			
	2000H	H-20	16,170#
	2000C	STANDARD	15,685#
	2000C2H	H-20	17,610#

2,000 GAL. GREASE TRAP DETAIL (OR APPROVED EQUAL)

SCALE: NTS



WATER QUALITY UNIT DETAIL
(CONTECH CDS2015-4-C OR APPROVED EQUAL)

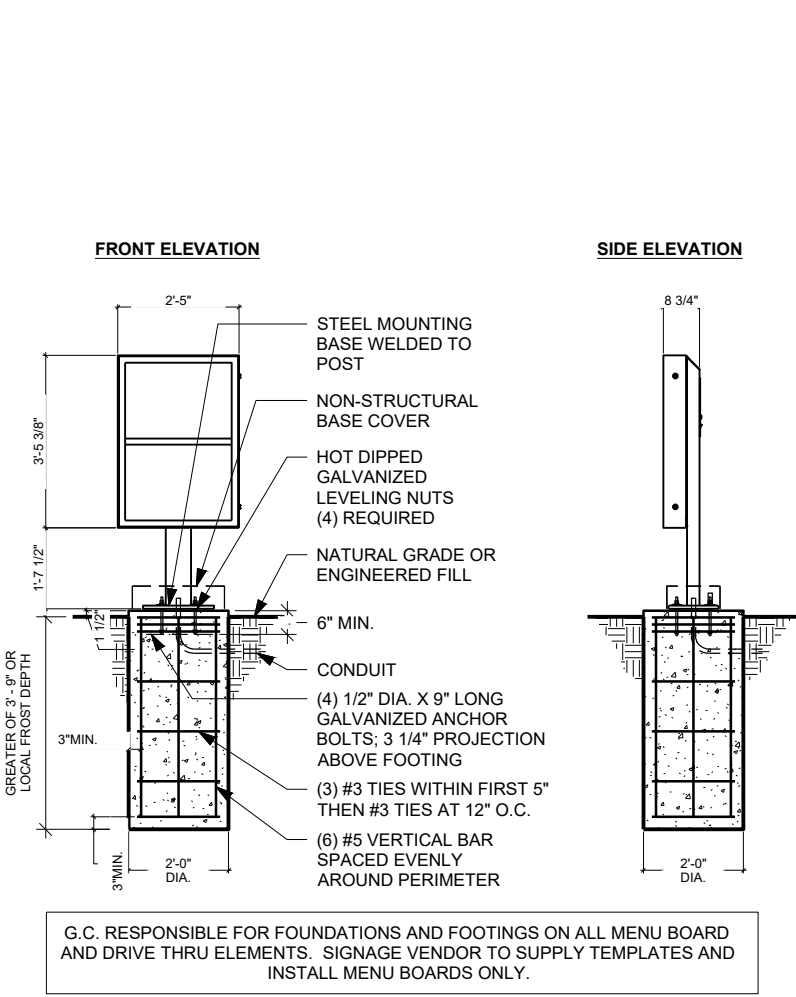
SCALE: NTS

DRACUT PLANNING BOARD

DATE: _____

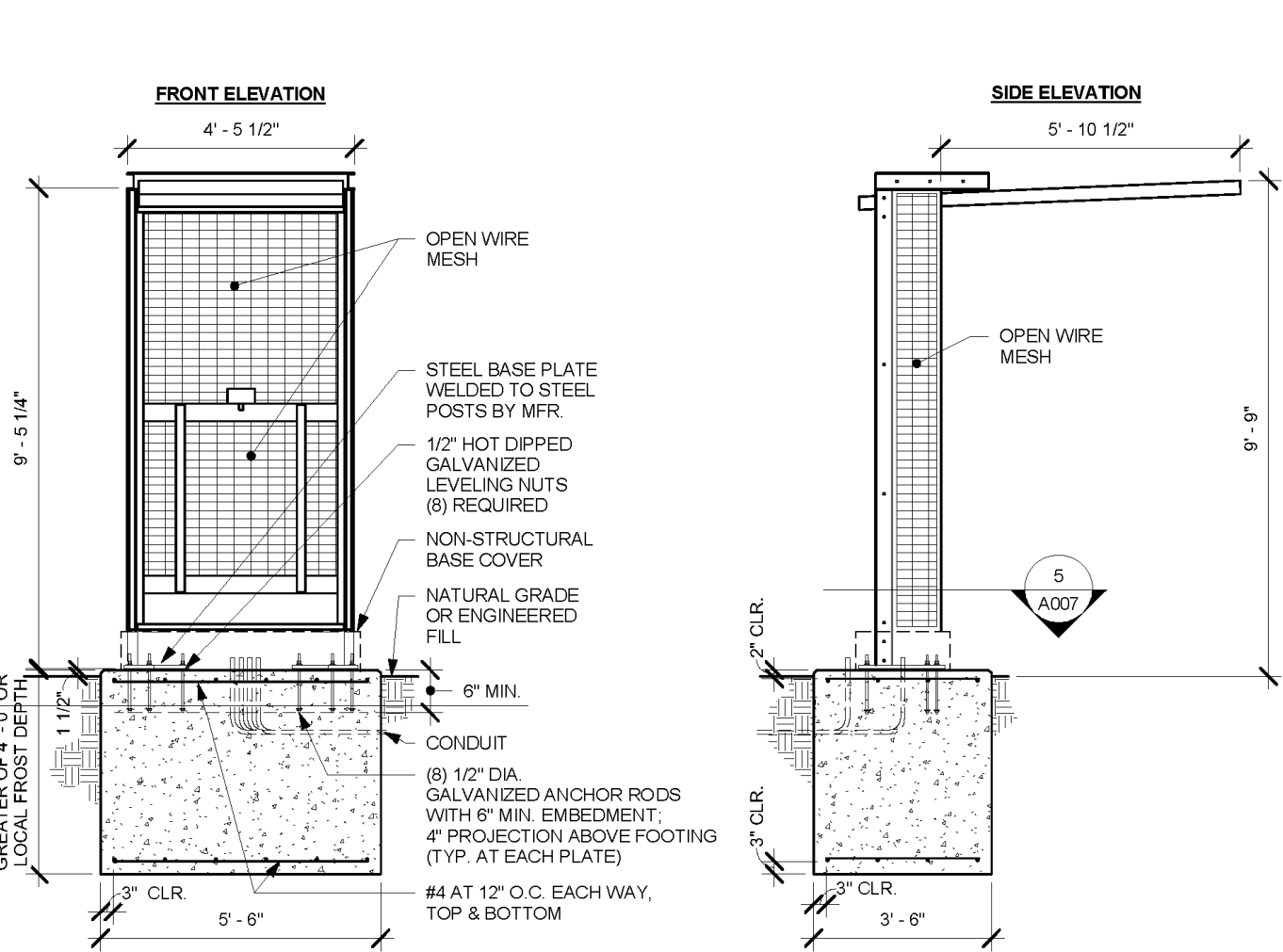
THE ENDORSEMENT ABOVE IS NOT A DETERMINATION BY THE PLANNING BOARD AS TO COMPLIANCE WITH THE ZONING BYLAWS.

1 03/05/25 SWM PEER REVIEW RTC	
Rev. #:	Date Description
SOLLI ENGINEERING MONROE, CT W. HARTFORD, CT NORWOOD, MA SOLLIENGINEERING.COM T: (203) 880-5455 F: (203) 880-9695	
Drawn By:	PDS
Checked By:	CJB
Approved By:	KMS
Project #:	22205701
Plan Date:	12/18/24
Scale:	NTS
Project: BRIDGE STREET LANDING 5 ARLINGTON STREET DRACUT, MASSACHUSETTS	
Sheet Title:	Sheet #:
CONSTRUCTION DETAILS	3.04



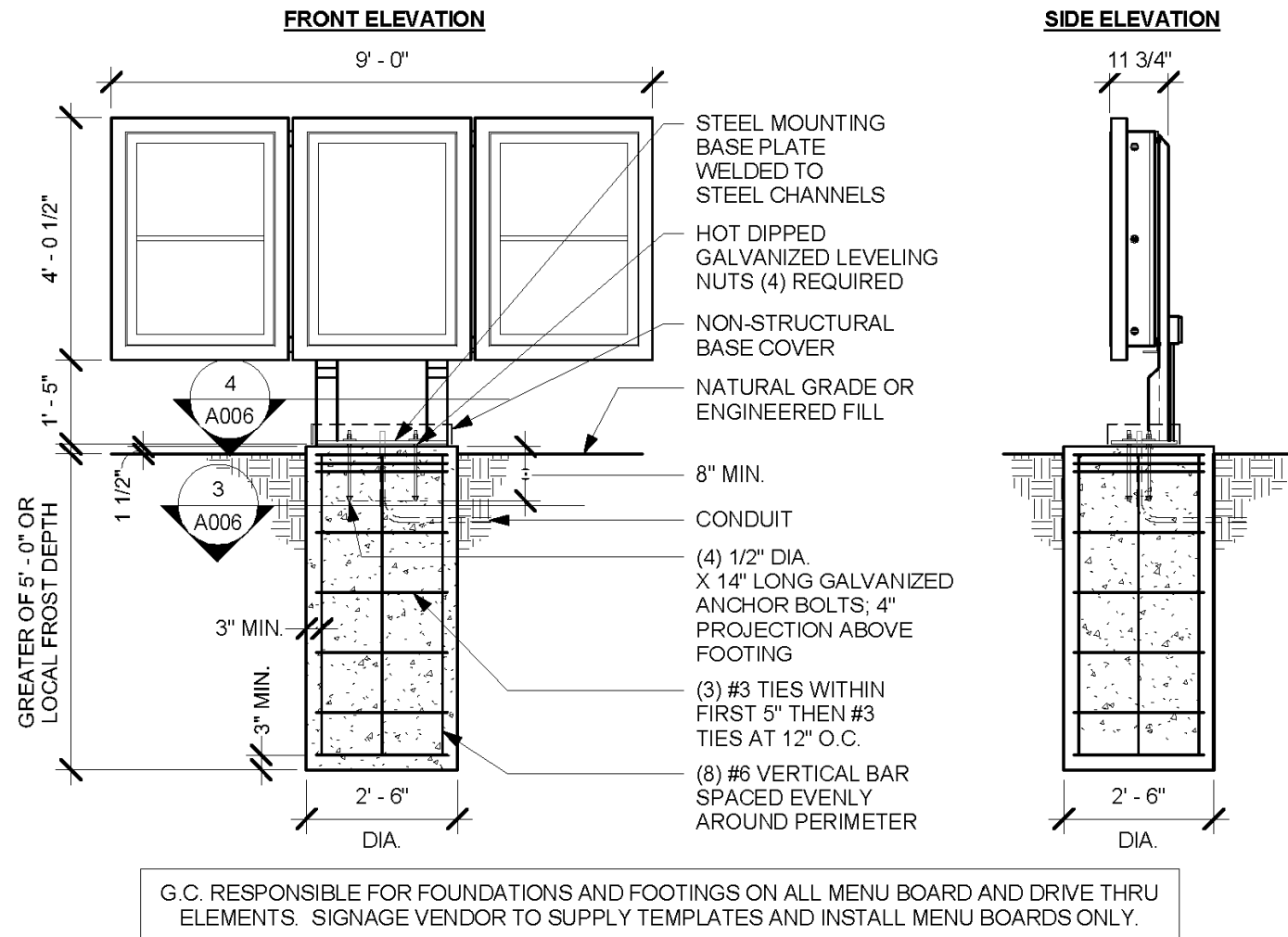
PRE-MENU BOARD

SCALE: NTS



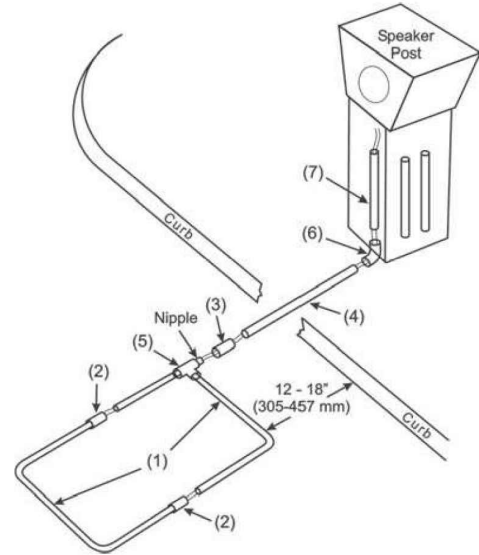
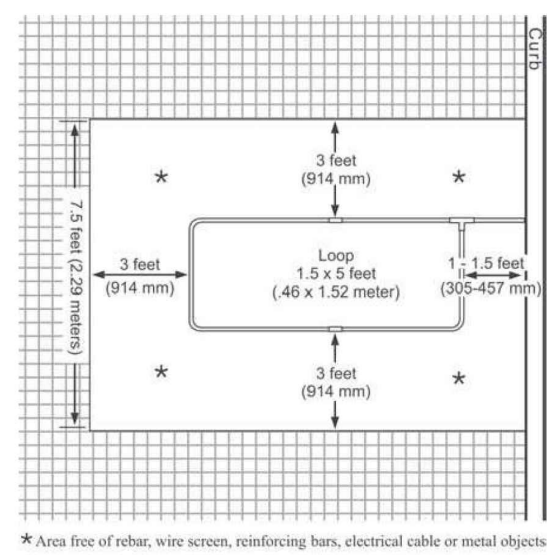
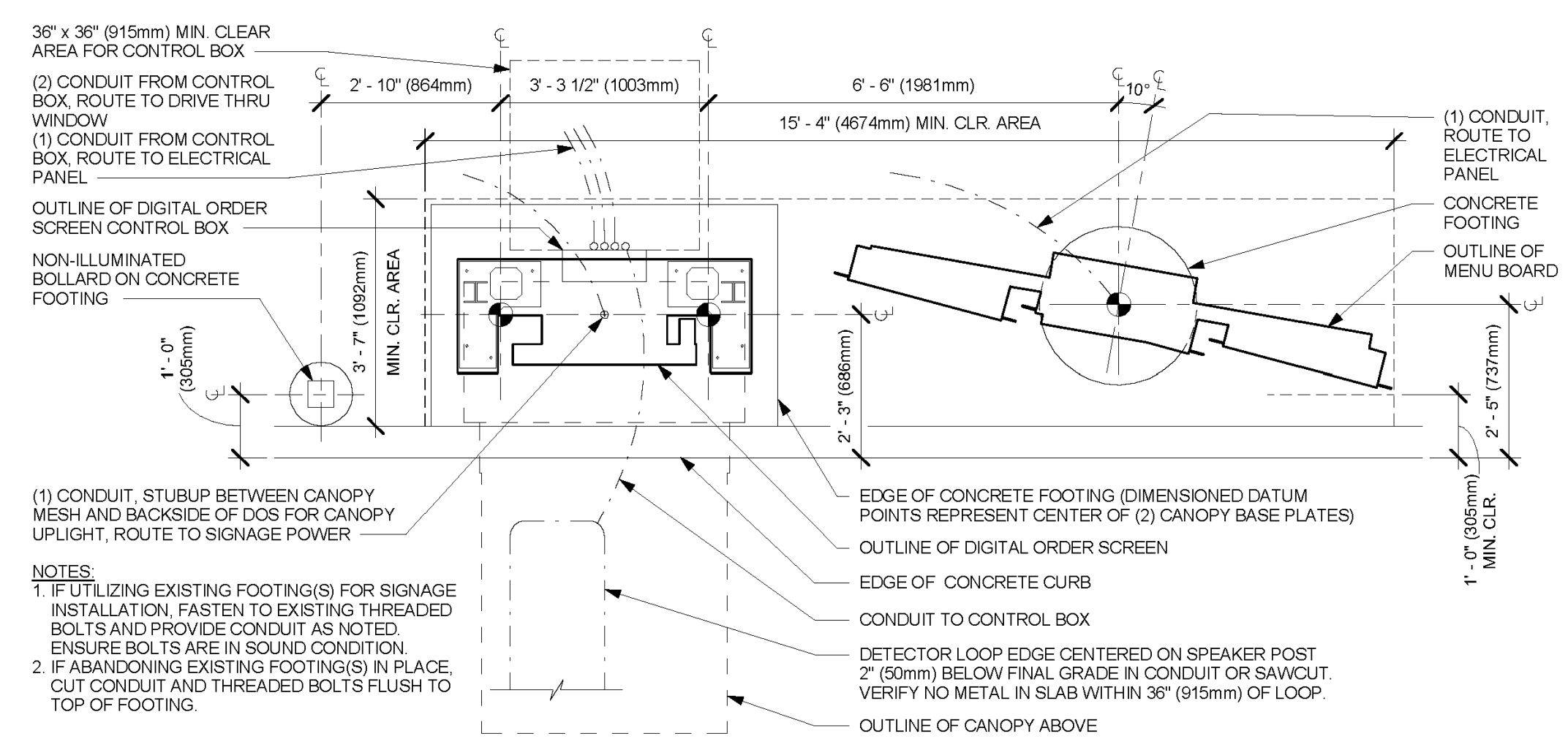
ORDER POINT CANOPY

SCALE: NTS

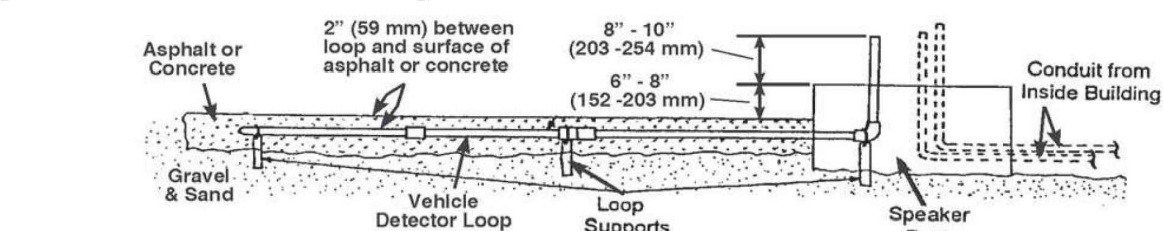


5-PANEL MENU BOARD AND CANOPY

SCALE: NTS

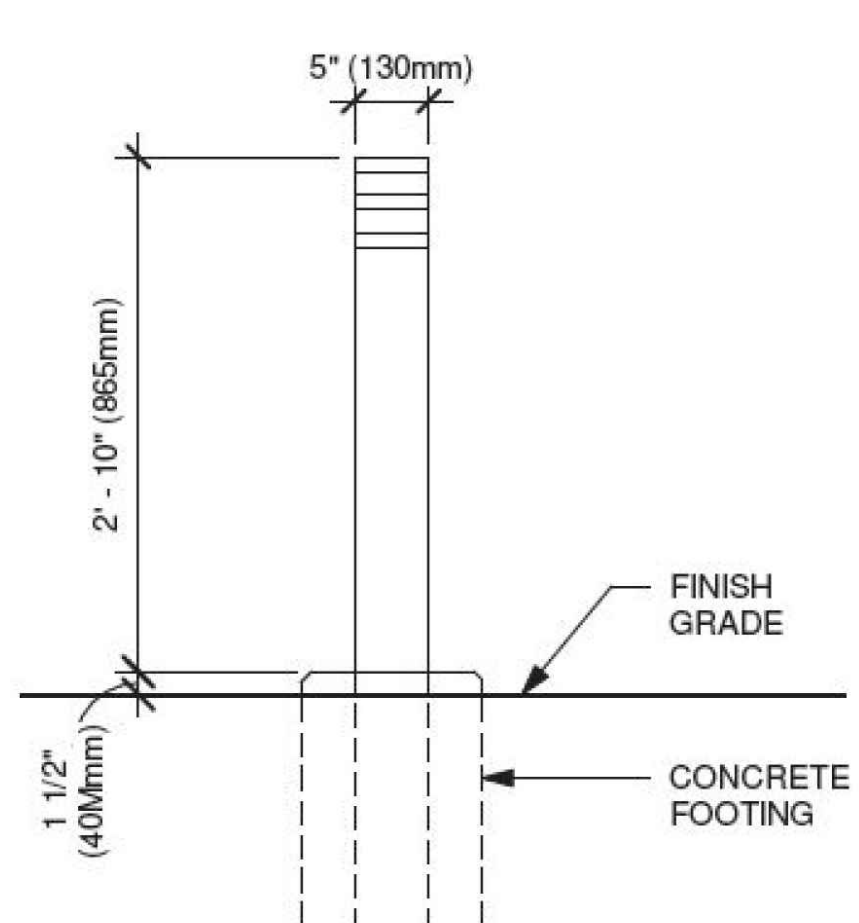


- NOTE:** PVC adhesive (not provided) must be applied wherever PVC couplings and pipe are fitted together.
- Flatten the loop (folded for shipping) as shown in Figure 2 (1). Fit the pipe securely into the couplings (2). Lay the loop flat in the drive-thru lane and position it as shown in Figure 2. Elevate the loop on supports that are anchored to the ground, as shown in Figure 3. Level the loop so it will be 2 inches (51 mm) or less from the paved surface when the concrete is poured. Fasten the loop to the supports with wire, so it will not float when the concrete is poured.
 - Pull the loop wires through the sleeve coupling (3) and the PVC loop extension (4). Slide one end of the sleeve coupling (3) over the nipple on the corner fitting of the loop (5), and slide the end of the loop extension (4) into the other end of the sleeve coupling (3).
 - Pull the loop wires through the elbow coupling (6) and the remaining 2 foot (.61 meter) piece of PVC (7). Slide the two ends (of 4 & 7) into the coupling (6), positioning the piece of PVC (7) so it points upward, out of the ground. Be certain it is next to and parallel to the outlets of the conduit coming into the speaker post or menu board from the building.



VEHICLE LOOP DETECTOR

SCALE: NTS

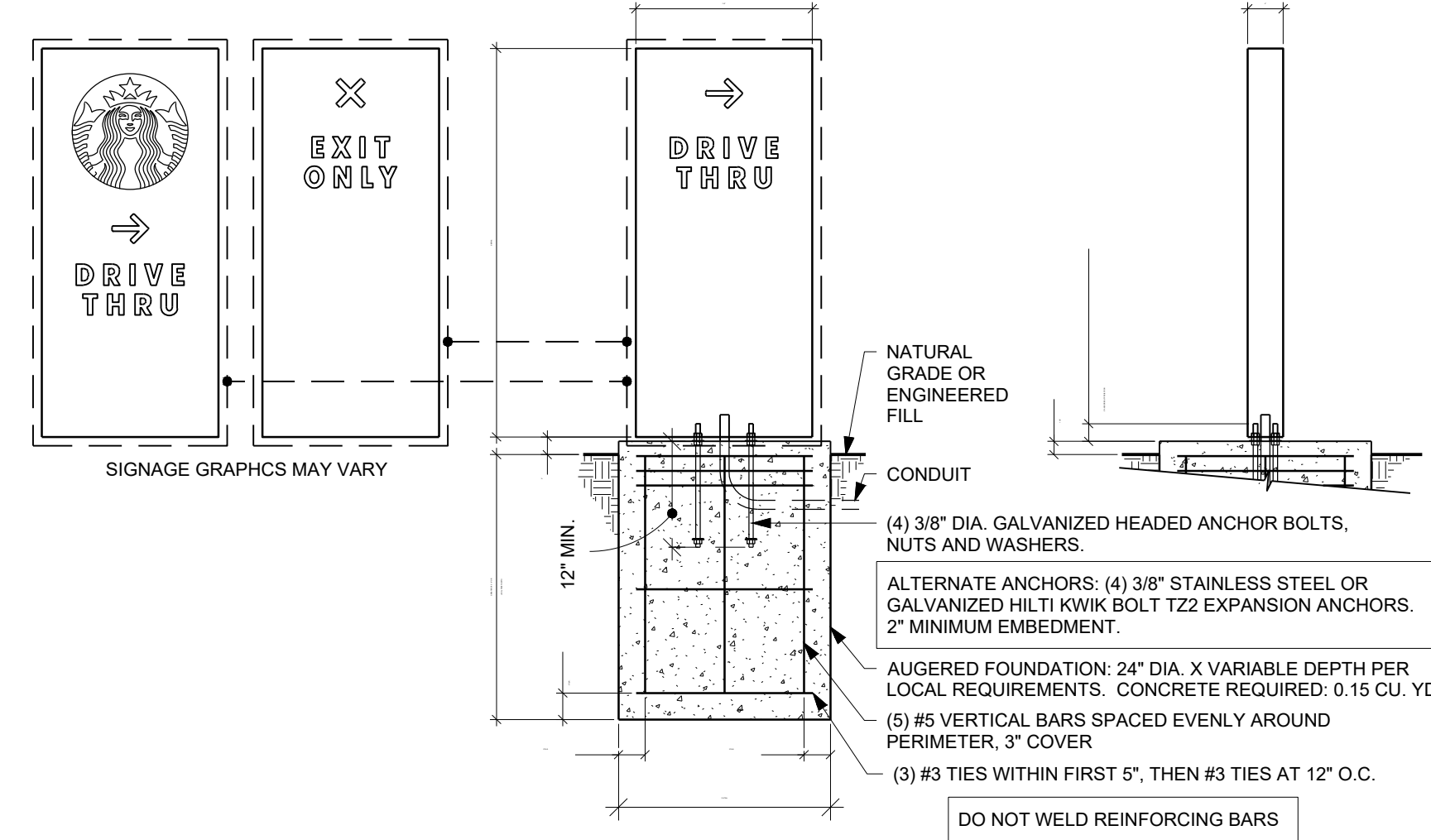
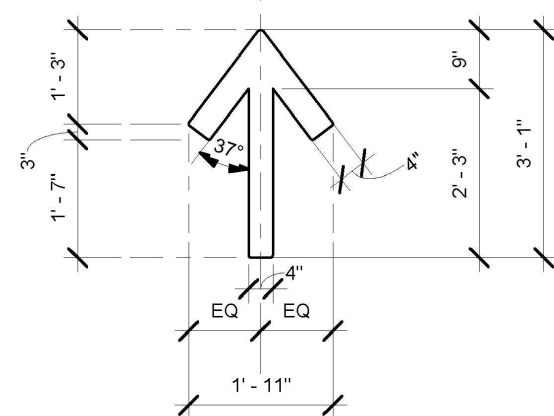


NON-ILLUMINATED BOLLARD DETAIL

SCALE: NTS

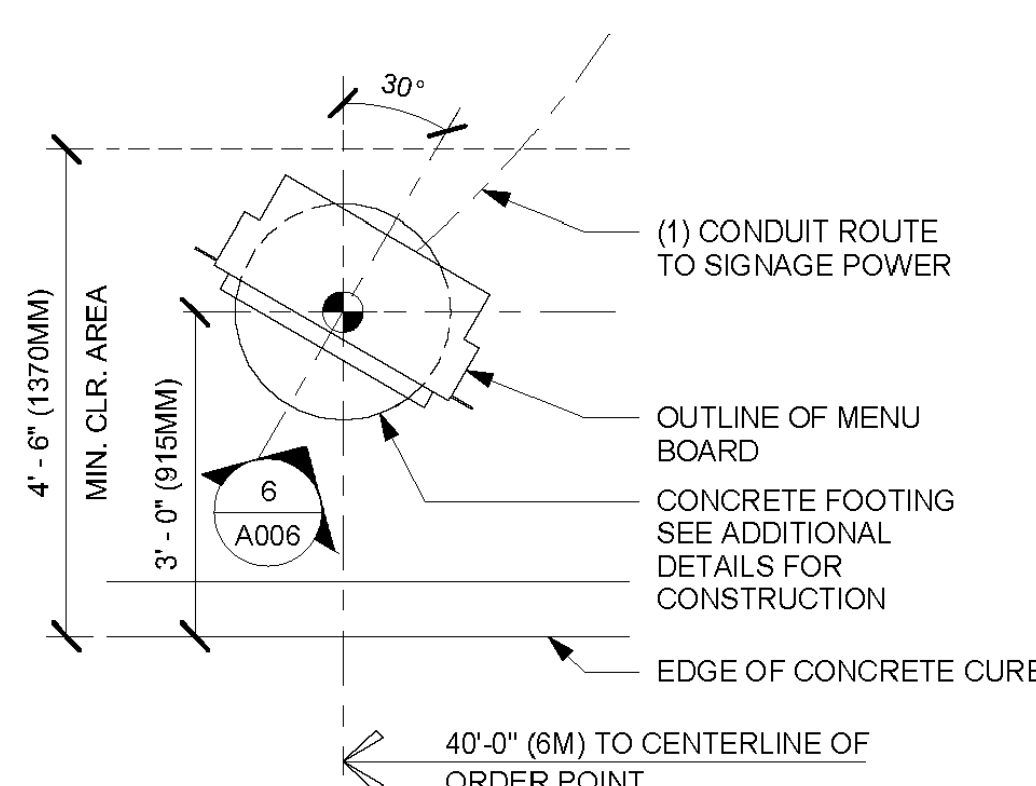
DTE - WAYFINDING GRAPHIC ARROW - SINGLE

SCALE: NTS



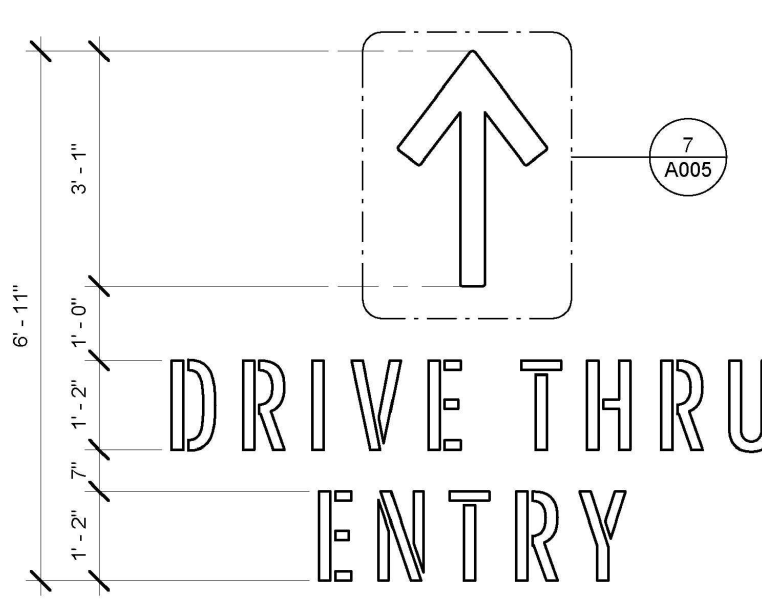
DT DIRECTIONAL SIGNAGE

SCALE: NTS



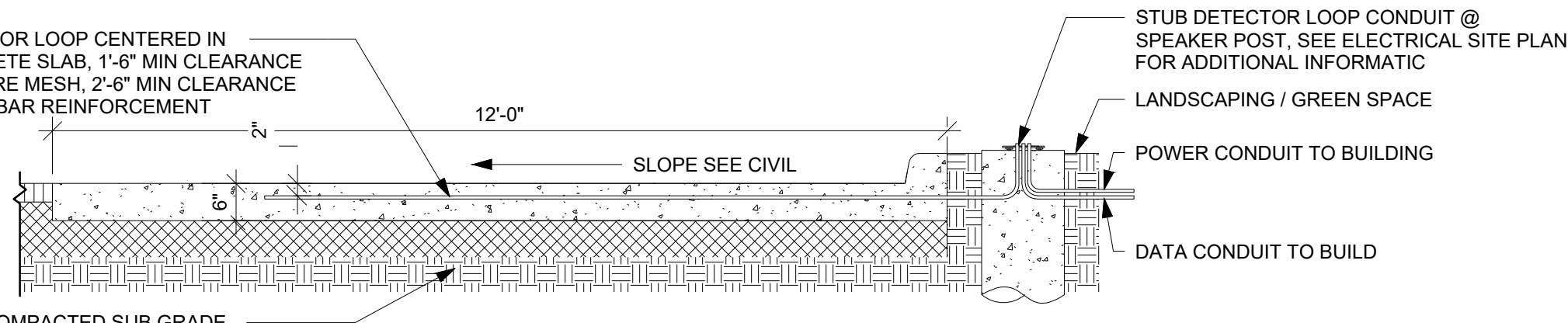
DTE - PRE-MENU 30 DEGREE

SCALE: NTS



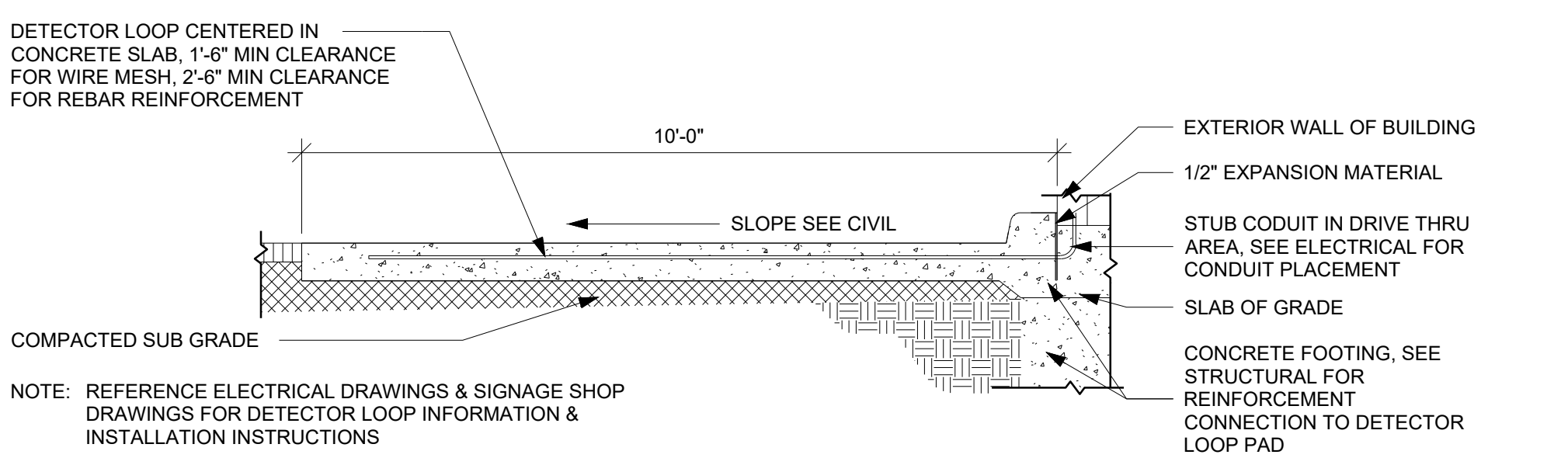
DTE - WAYFINDING GRAPHIC ARROW - ENTRY

SCALE: NTS



DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU ORDER POINT SECTION)

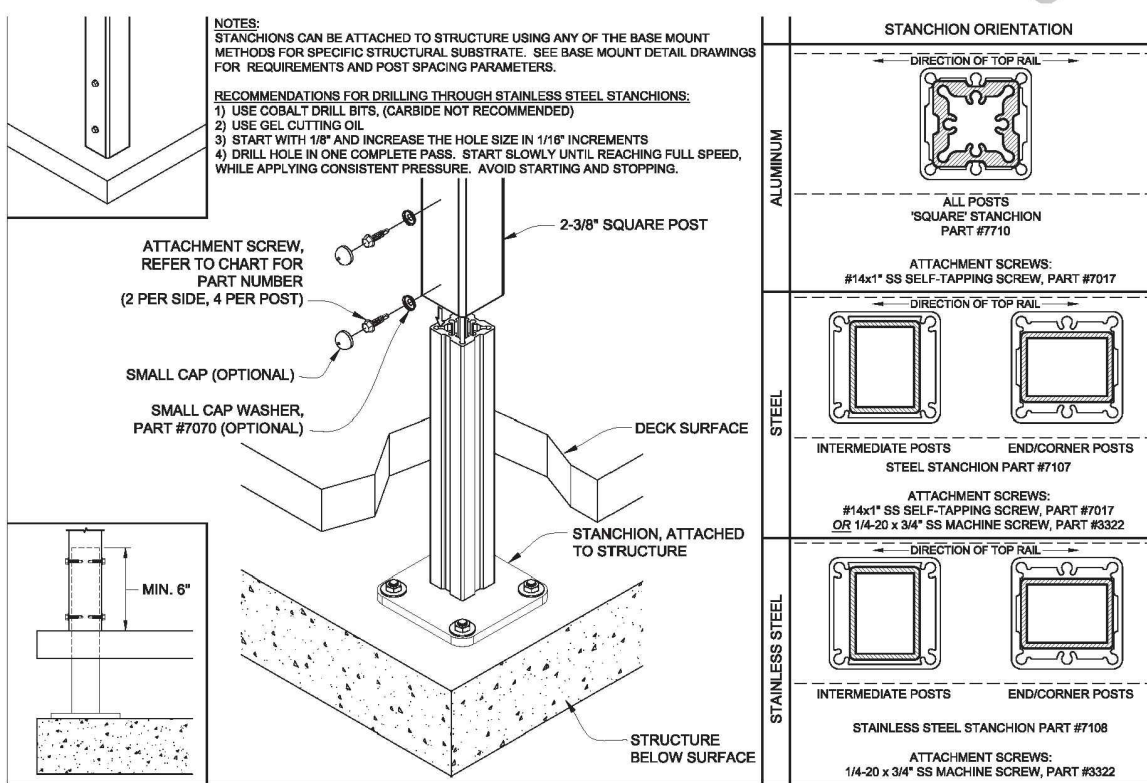
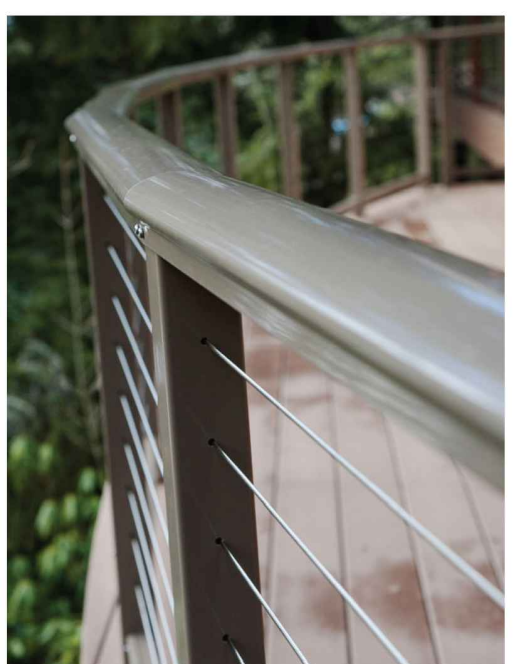
SCALE: NTS



DETECTOR LOOP IN CONCRETE PAD (DRIVE-THRU SERVICE WINDOW SECTION)

SCALE: NTS

Series 100, horizontal cables, black finish



PATIO FENCE DETAIL (OR APPROVED EQUAL)

SCALE: NTS

BRIDGE STREET LANDING

5 ARLINGTON STREET
DRACUT, MASSACHUSETTS

Sheet Title:

Sheet #:

CONSTRUCTION
DETAILS

3.05

Rev. #: Date Description

SOLLI ENGINEERING
MONROE, CT | W. HARTFORD, CT | NORWOOD, MA
SOLLIENGINEERING.COM
T: (203) 880-5455 | F: (203) 880-9695

Drawn By: PDS

Checked By: CJB

Approved By: KMS

Project #: 22205701

Plan Date: 12/18/24

Scale: NTS

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Kevin M. Solli, P.E.
MA 51952