

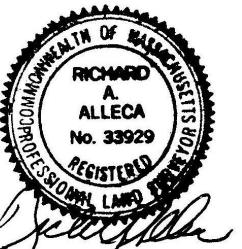
"LOUIS FARM VILLAGE" CHAPTER 40B L.I.P. DEVELOPMENT SINGLE-FAMILY ADULT COMMUNITY DEFINITIVE SITE PLAN OF LAND

FOR REGISTRY USE ONLY

I hereby certify that this plan has been prepared in conformity with the Rules and Regulations of the Registers of Deeds in the Commonwealth of Massachusetts.

I also certify that the property lines shown are the lines dividing existing ownerships and the lines of streets and ways shown are those of public or private streets or ways already established, and that no new lines for division of existing ownership or new ways are shown.

JUNE 03, 2022
Date



Registered Land Surveyor
R.L.S. #33929, E.I.T. #6520

DRACUT ZONING BOARD OF APPEALS

DATE: _____

THIS PLAN IS APPROVED AND ENDORSED BY THE ZONING BOARD OF APPEALS PURSUANT TO THE AUTHORITY GRANTED BY G.L. C. 40B, SEC. 21, AND IS SUBJECT TO THE CONDITIONS CONTAINED IN THE COMPREHENSIVE PERMIT GRANTED BY THE TOWN OF DRACUT ZONING BOARD OF APPEALS PURSUANT TO SAID STATUTE ON AUGUST 15, 2006.

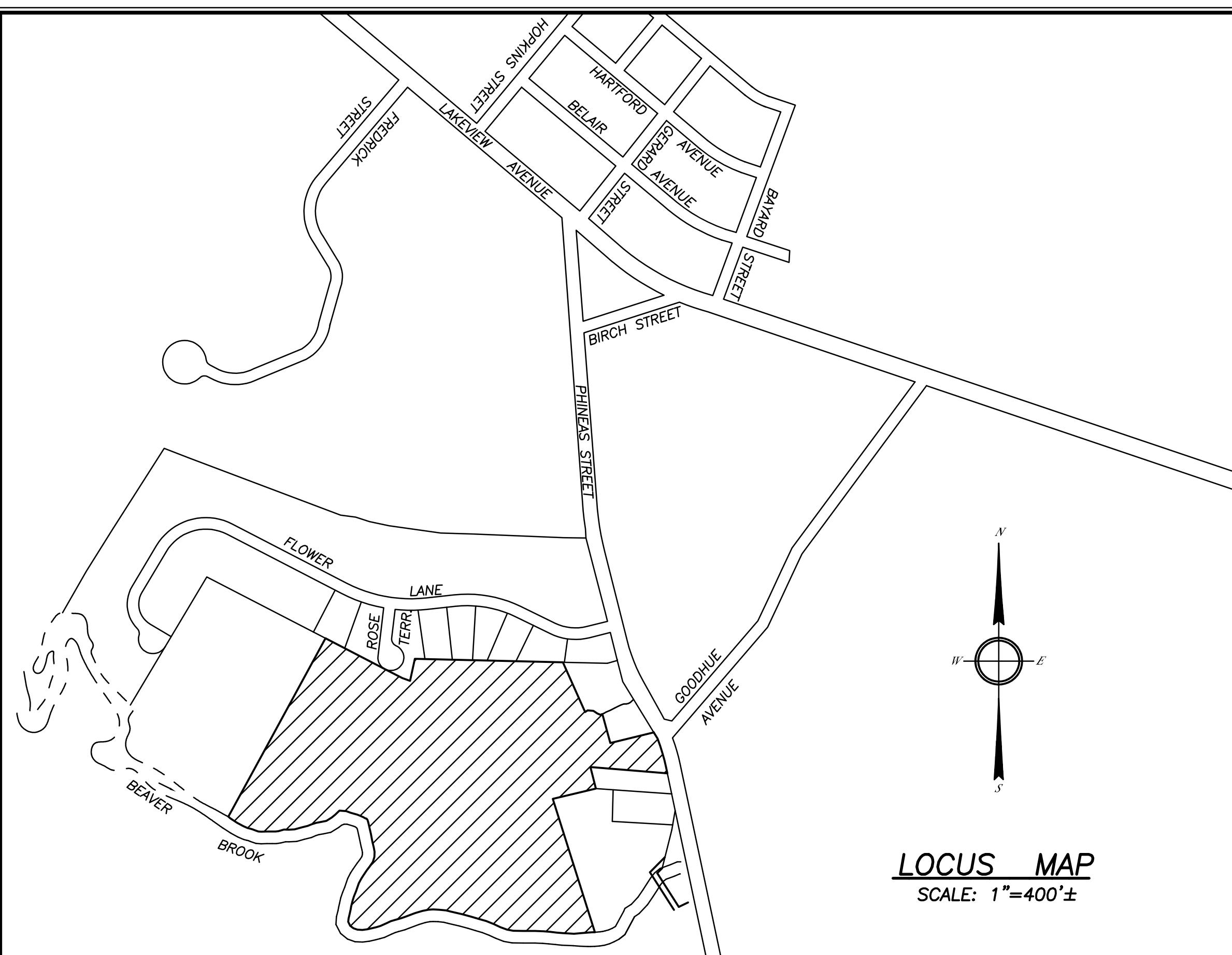
I, KATHLEEN GRAHAM, CLERK OF THE TOWN OF DRACUT, HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE BOARD OF APPEALS HAS BEEN RECEIVED AND RECORDED AT THIS OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING THE TWENTY DAYS NEXT FOLLOWING SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE TOWN CLERK

TABLE OF DIMENSIONAL REQUIREMENTS: RESIDENTIAL, R-1

DIMENSIONAL REQUIREMENT	REQUIRED BY		PROPOSED	COMPLIANCE C.Z./O.S.Z.
	CONVENTIONAL ZONING	OPEN SPACE ZONING		
Minimum lot area	40,000 sf.	20,000 sf	20.71 acres	yes
Area per unit	40,000 sf.	20,000 sf	37,588 sf.	no*
Easement area	—	—	—	—
Wetland area (100 yr. flood)	—	—	9.01 ac.±	—
Net lot area	—	—	11.7 ac.±	—
Gross density (20 units)	1.1 unit/ac.	2.2 units/ac.	1.0 units/ac.	yes
Net density (20 units)	—	—	1.7 units/acre	no*
minimum lot frontage	175'	50'	151.07'	no*/yes
minimum lot width	50'	50'	140.8'	yes
minimum front yard	30'	50	272'	yes
minimum side yard	15'	15'	20'	yes
minimum rear yard	35'	15'	28'	no*/yes
maximum building height	36'	36'	26'	yes
maximum stories	2½	2½	2	yes
maximum building coverage	—	—	4%	—
maximum lot coverage	—	—	22%	—
minimum open space	—	—	78%	—
Parking (4 sp./unit)	48 spaces	48 spaces	80 spaces	yes

Notes:
1) Net lot area denotes total area excluding 100% of 100 year flood area.
2) Dimensional setbacks are assumed to be from foundations; perpendicular to overall property lines or roadway lines, excluding decks, steps, eaves and bulkheads.
3) C.Z. - denotes Conventional Zoning requirements.
4) O.S.Z. - denotes Open Space Zoning requirements.
5) no* - denotes not conforming to Zoning Bylaw.



LOCUS MAP
SCALE: 1"=400'±

OWNER OF RECORD
133 PHINEAS STREET LLC
2100 LAKEVIEW AVENUE, UNIT B
DRACUT, MA. 01826

NORTH MIDDLESEX DISTRICT REGISTRY
OF DEEDS:
DEED BOOK 34994, PAGE 110
DATED: 12/02/2020
PLAN BOOK 248 - PLAN 63
DATED: 07/17/2020

APPLICANT
133 PHINEAS STREET LLC
2100 LAKEVIEW AVENUE, UNIT B
DRACUT, MA. 01826

PREPARED BY
VILLAGE SURVEYING
81 VILLAGE DRIVE
DRACUT, MASS.
(978) 957-5115

ASSESSORS
MAP 48, LOT 24
133 PHINEAS STREET

REFERENCE PLANS:
APPLICANT
133 PHINEAS STREET, LLC
2100 LAKEVIEW AVENUE, UNIT B
DRACUT, MASS. 01826

SITE DATA
LAND AREA: 20.71 ACRES
WETLAND AREA: 5.4 ACRES±
FIRM MAP PANEL # 25017C0137E
100 YEAR FLOOD AREA: 9.01 ACRES±

DATE
06-03-22 Review Committee Comments of May 12, 2022 for Sheets #2 through #8
06-30-22 Wetland boundary "E" series flags

SHEET
1 of 9

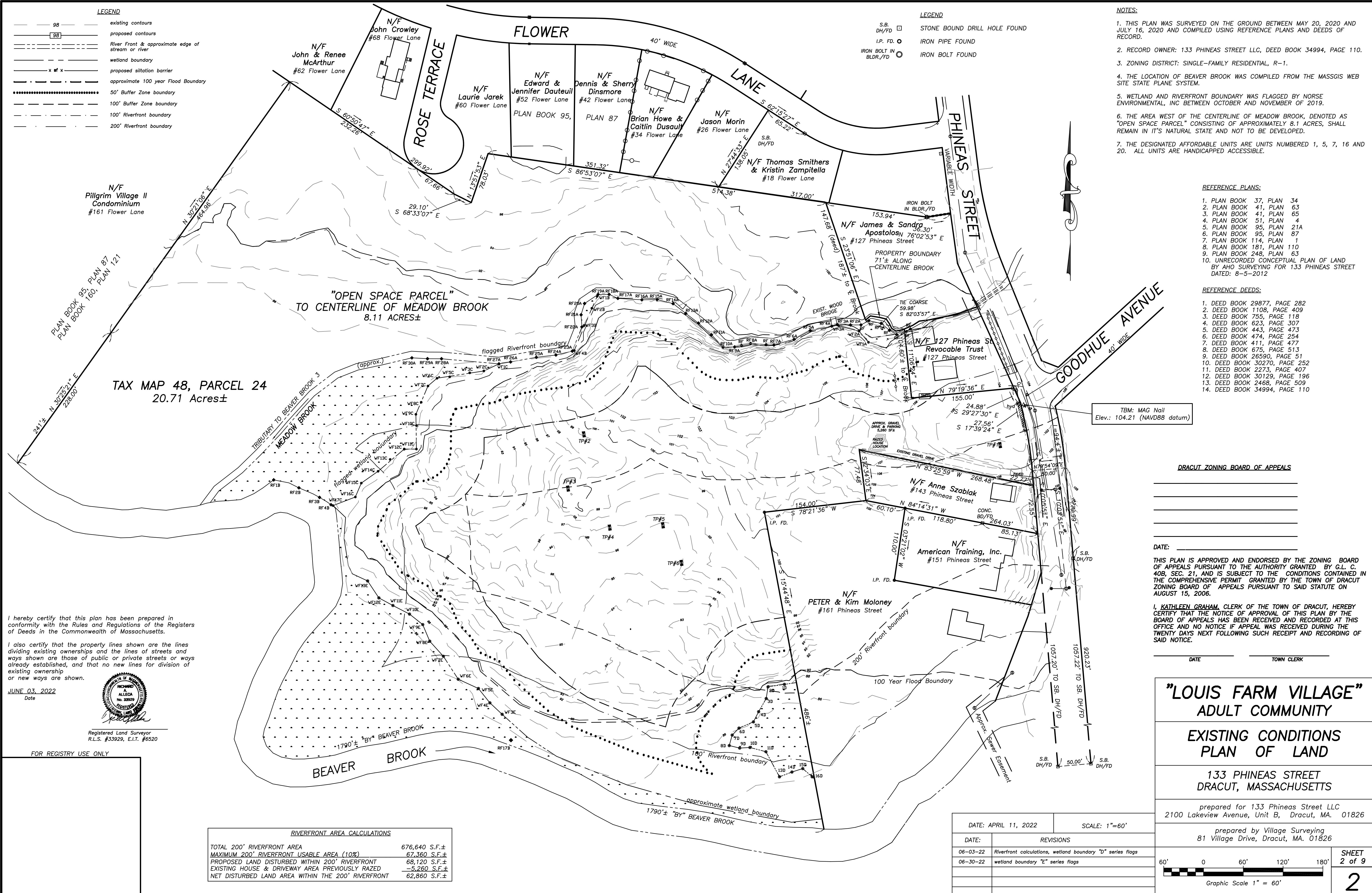
1

NOTES:

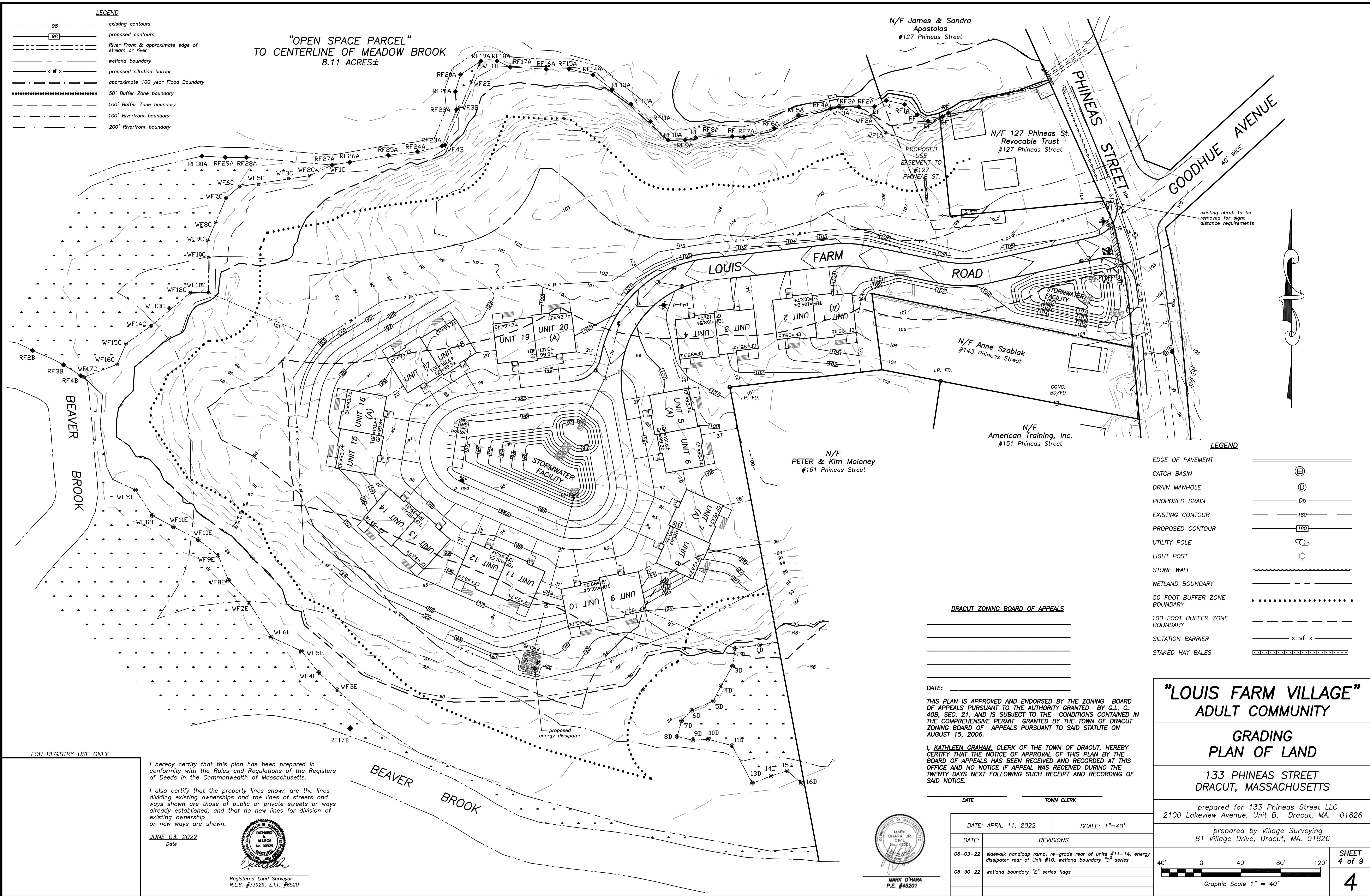
- 1) THE LOCATION OF EXISTING UNDERGROUND UTILITIES AND OTHER STRUCTURES ARE NOT WARRANTED TO BE EXACT, NOR IS IT WARRANTED THAT ALL UNDERGROUND PIPES OR STRUCTURES ARE SHOWN. EXACT LOCATIONS SHOULD BE VERIFIED IN THE FIELD PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- 2) ALL PROPOSED UTILITIES SHALL BE UNDERGROUND UNLESS SHOWN OTHERWISE.
- 3) THIS PLAN DOES NOT INTEND TO SHOW BUILDING DESIGN INFORMATION, INCLUDING DETAILS AND FINAL ELEVATIONS. SEE ARCHITECTURAL PLANS BY OTHERS.
- 4) THE STORMWATER REPORT AND DRAINAGE CALCULATIONS SHALL BE SUBMITTED WITH THE DEFINITIVE SITE PLAN APPLICATION AT A LATER DATE.

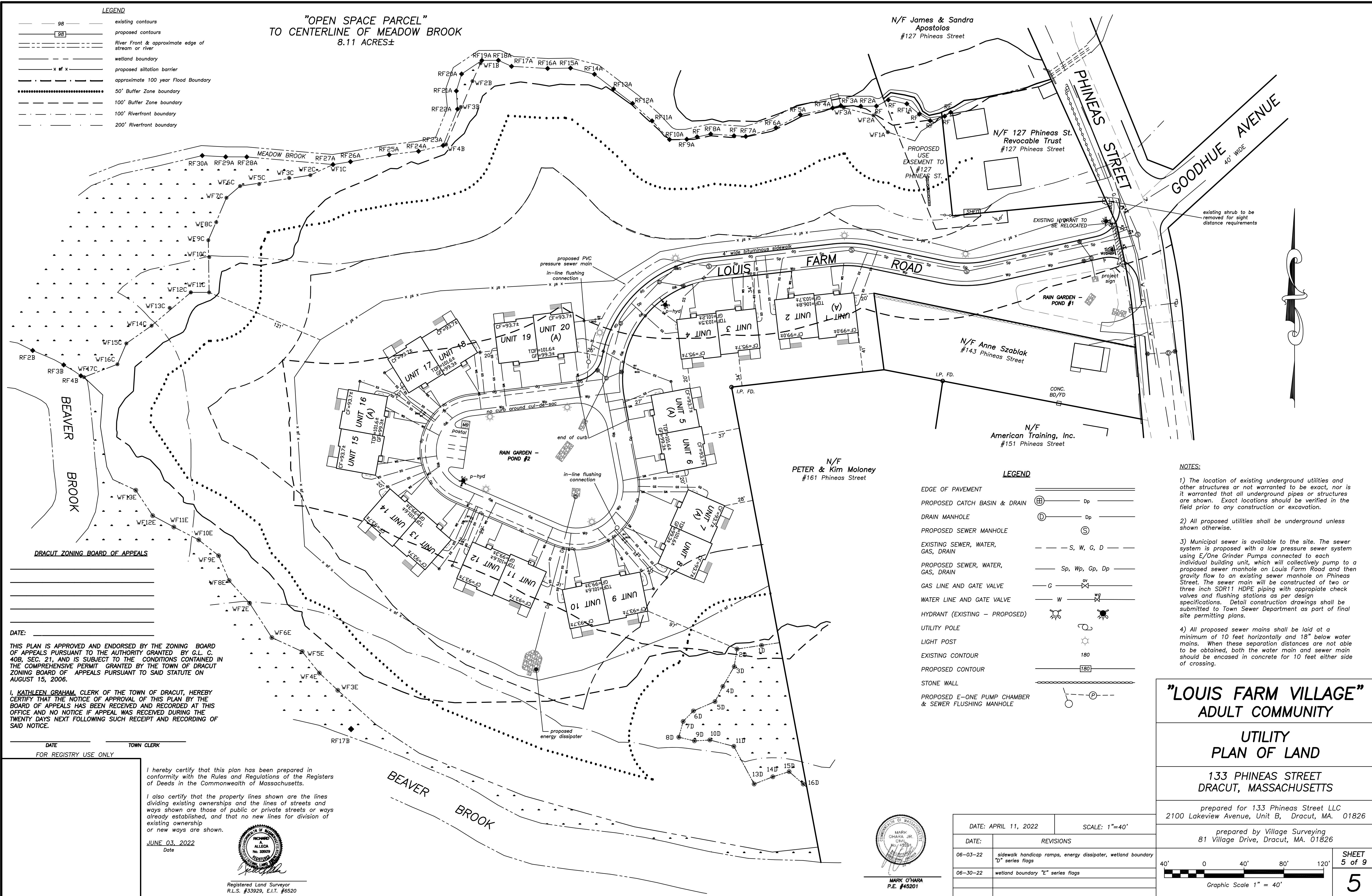
SHEET INDEX

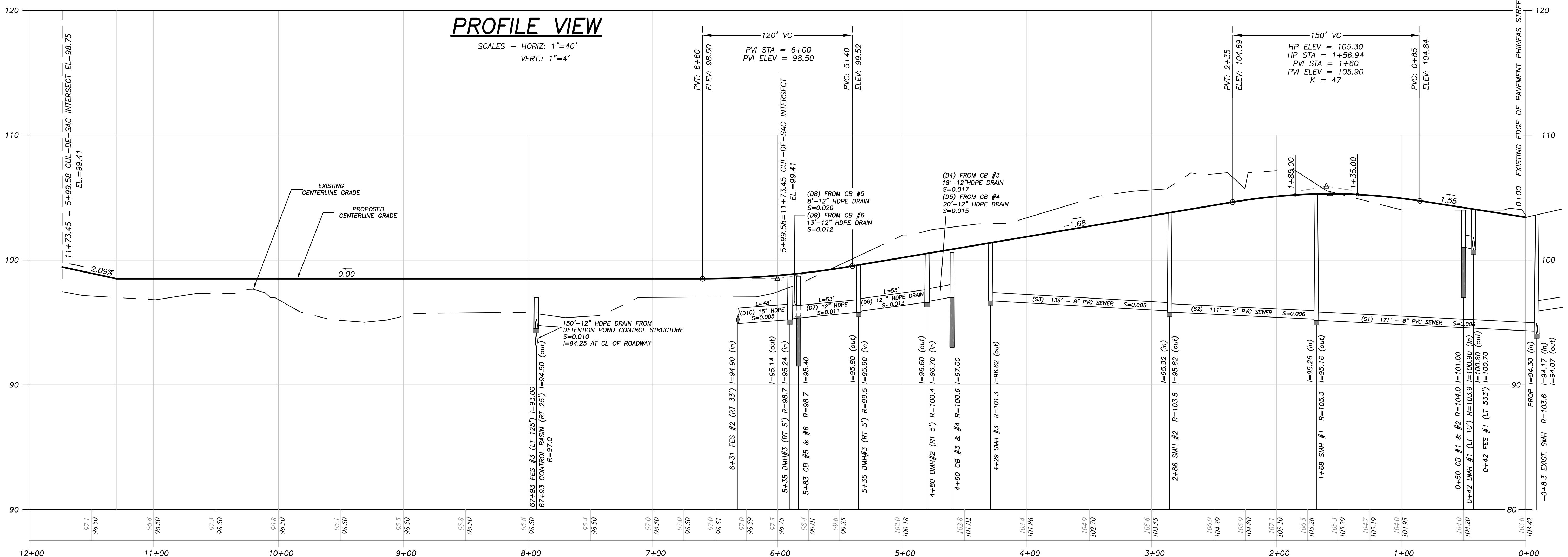
SHEET	DESCRIPTION
1	COVER SHEET
2	EXISTING CONDITIONS PLAN
3	BUILDING LAYOUT PLAN
4	GRADING PLAN
5	SITE UTILITIES PLAN
6	PLAN & PROFILE LOUIS FARM ROAD
7	DRAINAGE & DETENTION POND PROFILE & DETAILS
8	DRAINAGE & ROAD SECTION DETAILS
9	E/ONE SYSTEM & SEWER DETAILS











LOUIS FARM ROAD
PLAN VIEW

DRACUT ZONING BOARD OF APPEALS

THIS F
25 APR

THIS PLAN IS APPROVED AND ENDORSED BY THE ZONING BOARD
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40B, SEC. 21, AND IS SUBJECT TO THE CONDITIONS CONTAINED IN
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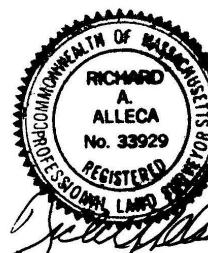
DATE TOWN CLERK

FOR REGISTRY USE ONLY

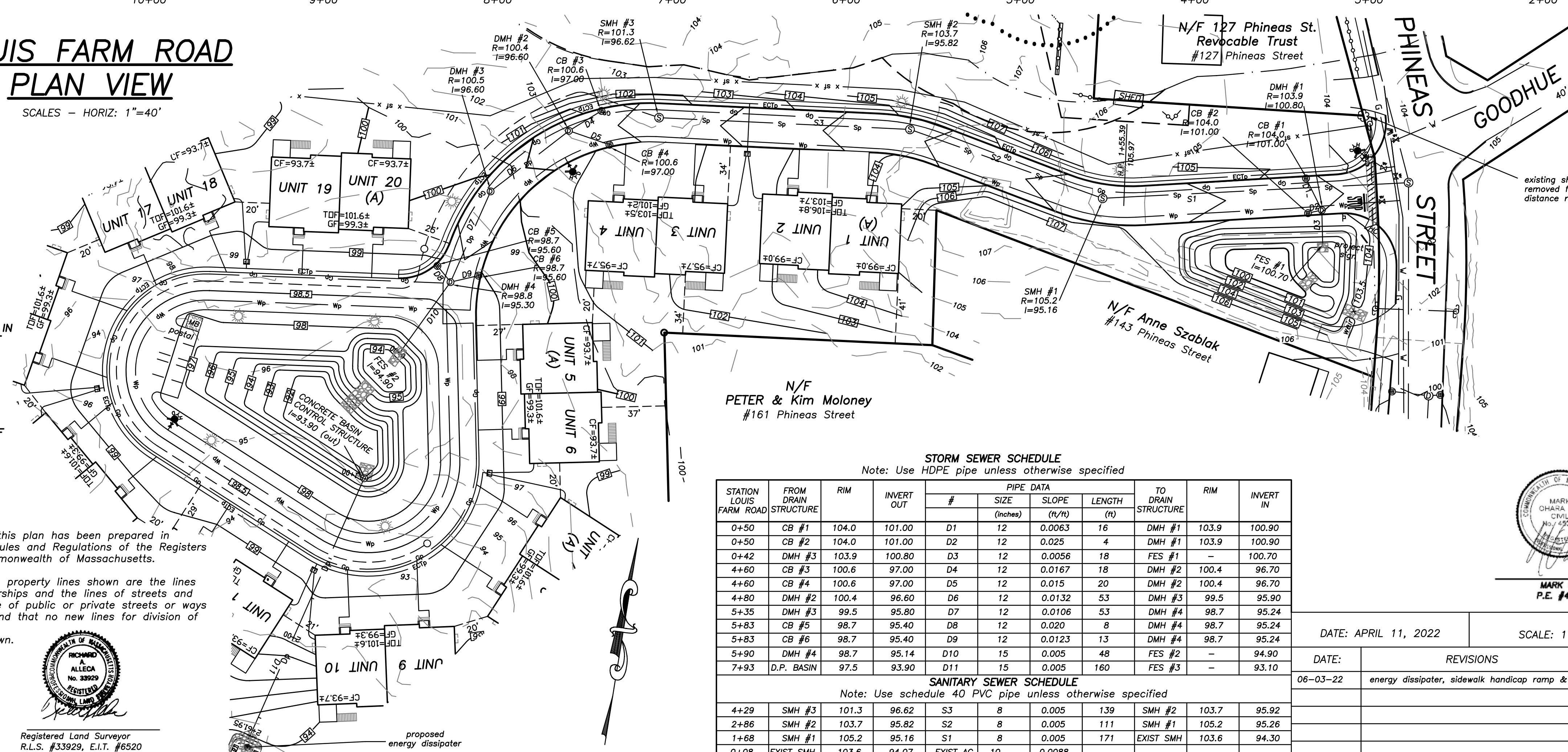
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JUNE 03, 2022



Registered Land Surveyor
R.L.S. #33929, E.I.T. #652



STORM SEWER SCHEDULE

Note: Use HDPE pipe unless otherwise specified

STATION LOUIS FARM ROAD	FROM DRAIN STRUCTURE	RIM	INVERT OUT	PIPE DATA				TO DRAIN STRUCTURE	RIM	INVERT IN
				#	SIZE	SLOPE	LENGTH			
					(inches)	(ft/ft)	(ft)			
0+50	CB #1	104.0	101.00	D1	12	0.0063	16	DMH #1	103.9	100.90
0+50	CB #2	104.0	101.00	D2	12	0.025	4	DMH #1	103.9	100.90
0+42	DMH #3	103.9	100.80	D3	12	0.0056	18	FES #1	-	100.70
4+60	CB #3	100.6	97.00	D4	12	0.0167	18	DMH #2	100.4	96.70
4+60	CB #4	100.6	97.00	D5	12	0.015	20	DMH #2	100.4	96.70
4+80	DMH #2	100.4	96.60	D6	12	0.0132	53	DMH #3	99.5	95.90
5+35	DMH #3	99.5	95.80	D7	12	0.0106	53	DMH #4	98.7	95.24
5+83	CB #5	98.7	95.40	D8	12	0.020	8	DMH #4	98.7	95.24

SANITARY SEWER SCHEDULE

SANITARY SEWER SCHEDULE

Note: USC Schedule 13 PVC pipe unless otherwise specified											
4+29	SMH #3	101.3	96.62	S3	8	0.005	139	SMH #2	103.7	95.92	
2+86	SMH #2	103.7	95.82	S2	8	0.005	111	SMH #1	105.2	95.26	
1+68	SMH #1	105.2	95.16	S1	8	0.005	171	EXIST SMH	103.6	94.30	
-0+08	EXIST SMH	103.6	94.07	EXIST AC	10	0.0088	-	-	-	-	

MARK O'HARA
#15224

DATE: APRIL 11, 2022 | SCALE: 1"=40'

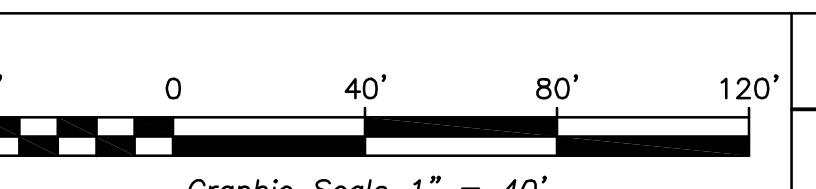
“LOUIS FARM VILLAGE” ADULT COMMUNITY

PLAN & PROFILE LOUIS FARM ROAD

133 PHINEAS STREET
WACUT, MASSACHUSETTS

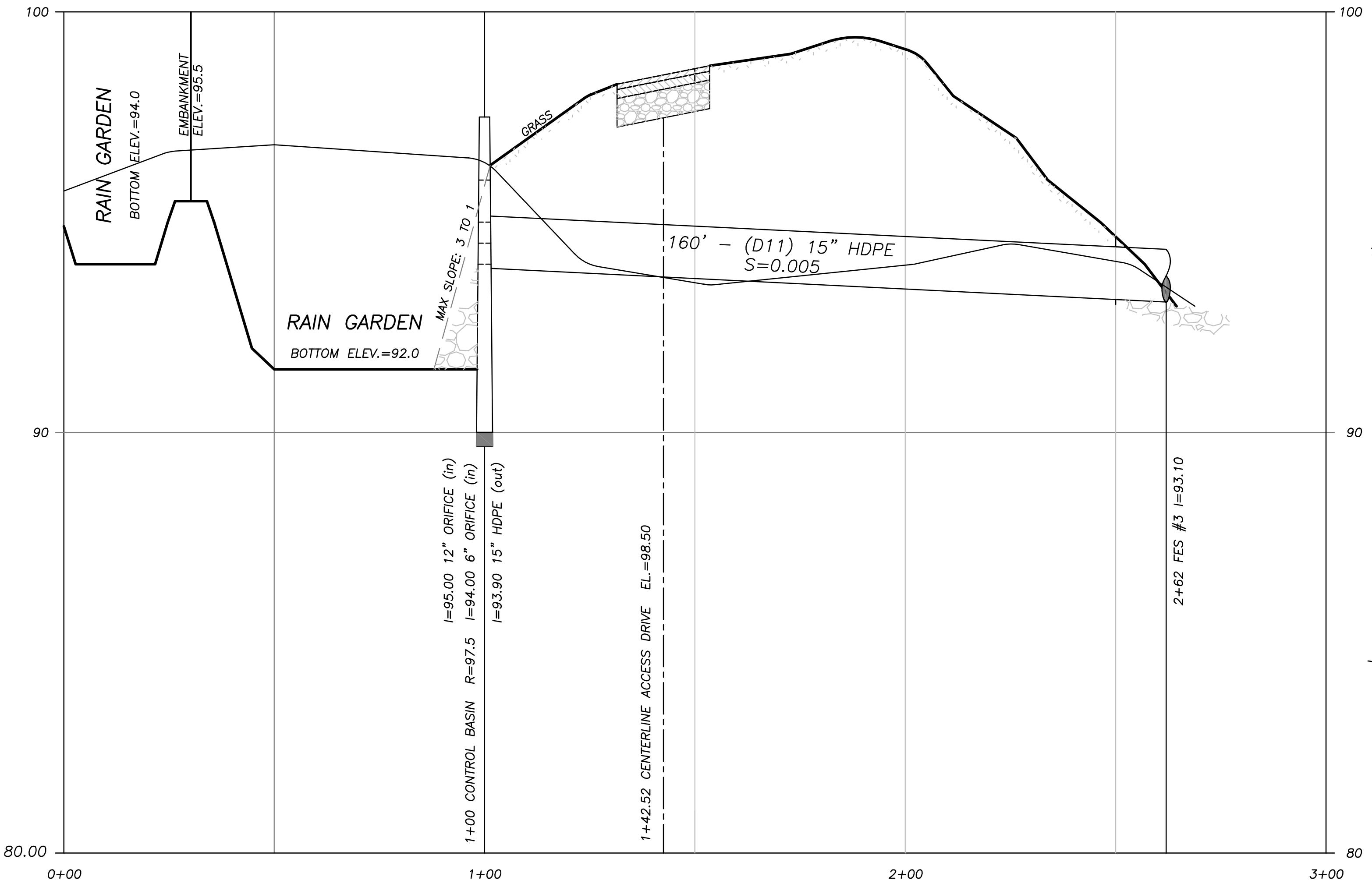
prepared for 133 Phineas Street LLC
keview Avenue, Unit B, Dracut, MA. 01826

prepared by Village Surveying
81 Village Drive, Dracut, MA. 01826



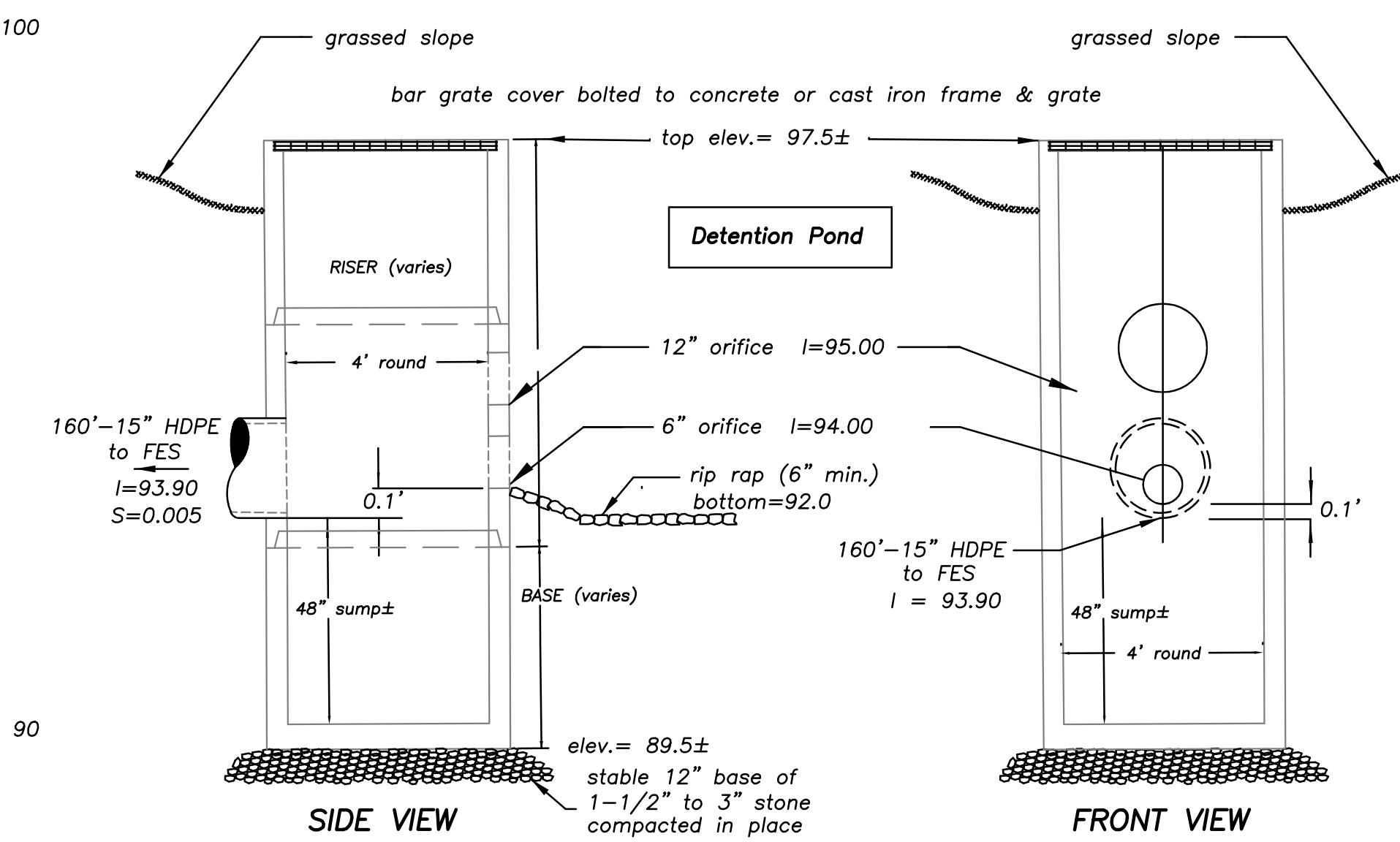
FOREBAY & RAIN GARDEN / POND #2 PROFILE VIEW

Scales: Horiz.: 1"=20'
Vert. : 1"=2'



DETENTION POND #2 CONTROL STRUCTURE

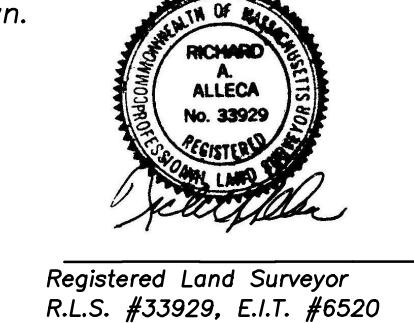
(not to scale)



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JUNE 03, 2022



Registered Land Surveyor
R.L.S. #33929, E.I.T. #6520

FOR REGISTRY USE ONLY

DRACUT ZONING BOARD OF APPEALS

DATE:

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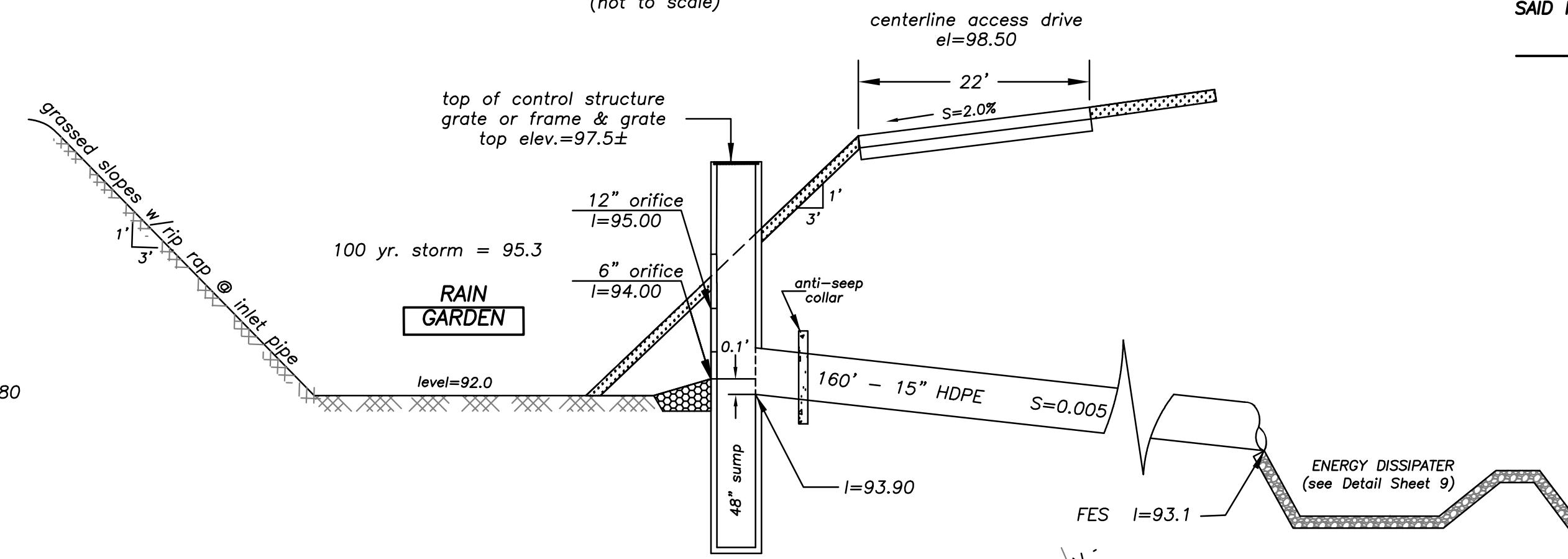
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TOWN CLERK

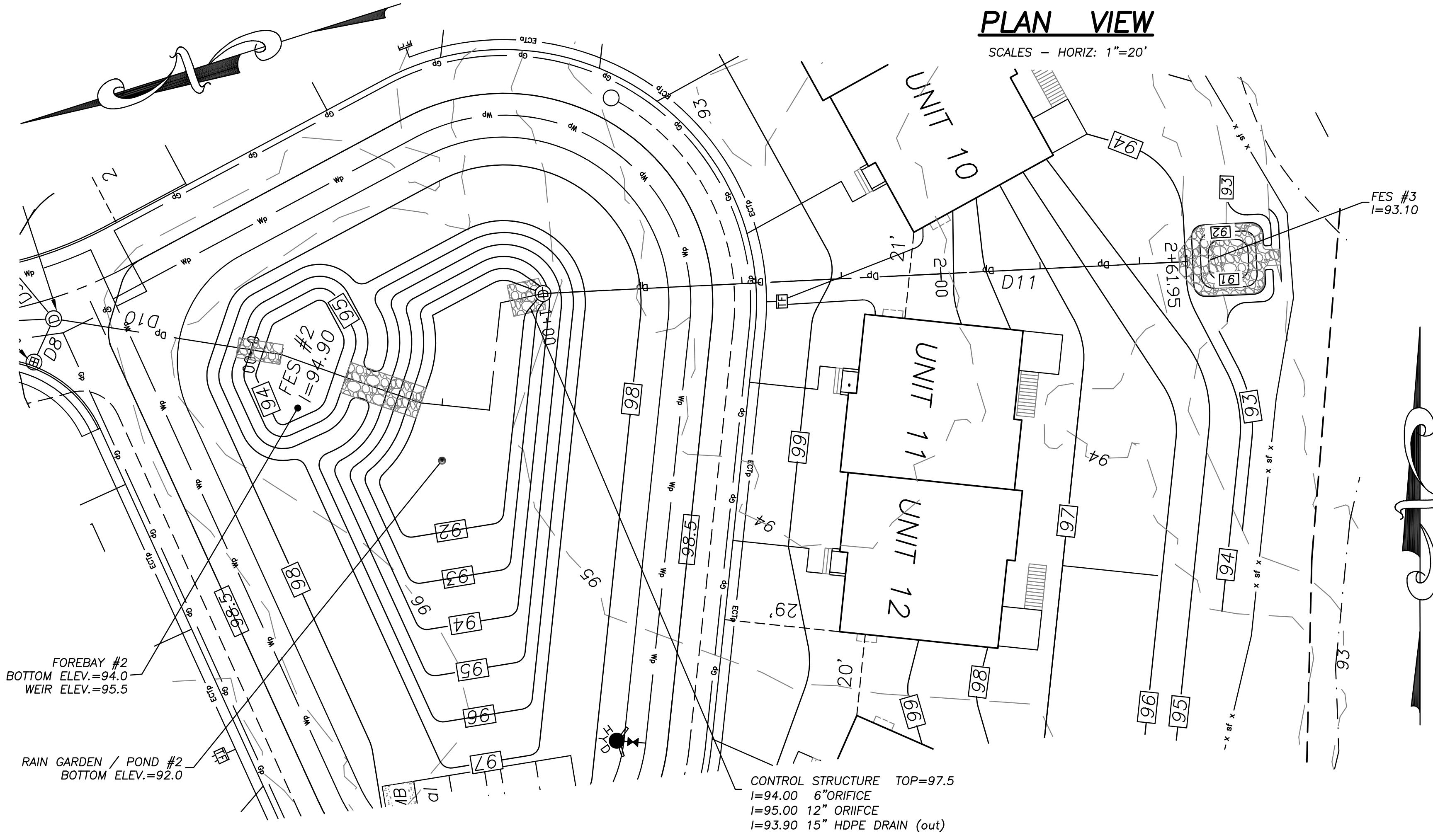
DETENTION POND #2 X-SECTION

(not to scale)



PLAN VIEW

SCALES - HORIZ: 1"=20'



FOREBAY & RAIN GARDEN POND #1 PLAN VIEW

SCALES - HORIZ: 1"=20'

DATE: APRIL 11, 2022	SCALE: 1"=40'
DATE: 06-03-22	REVISIONS: sidewalk handicap ramps, project sign, stop sign & painting

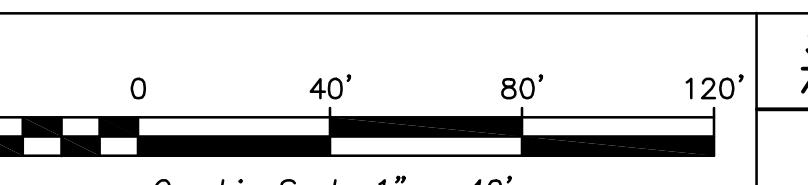
"LOUIS FARM VILLAGE" ADULT COMMUNITY

DRAINAGE & DETENTION POND PROFILE & DETAILS

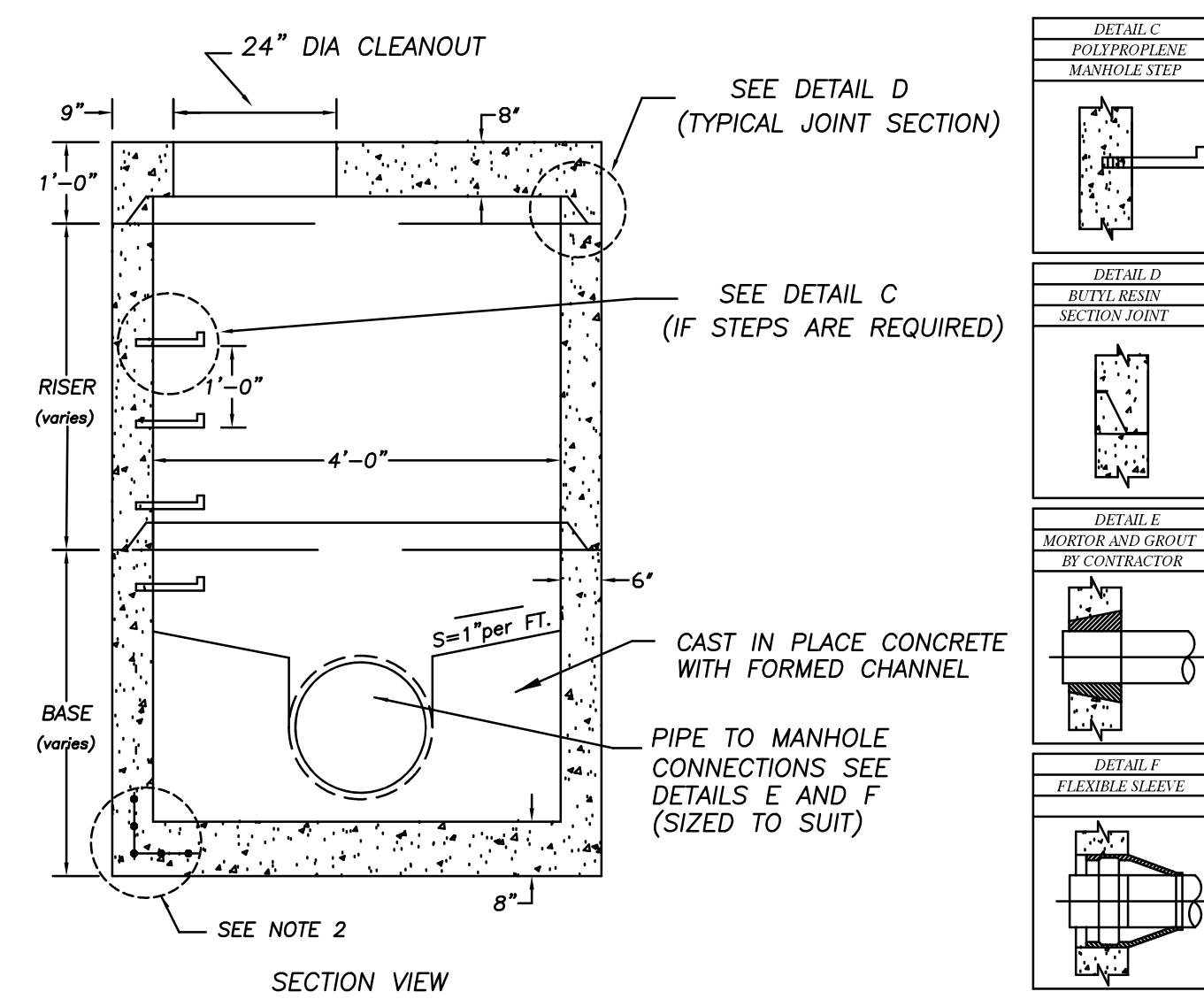
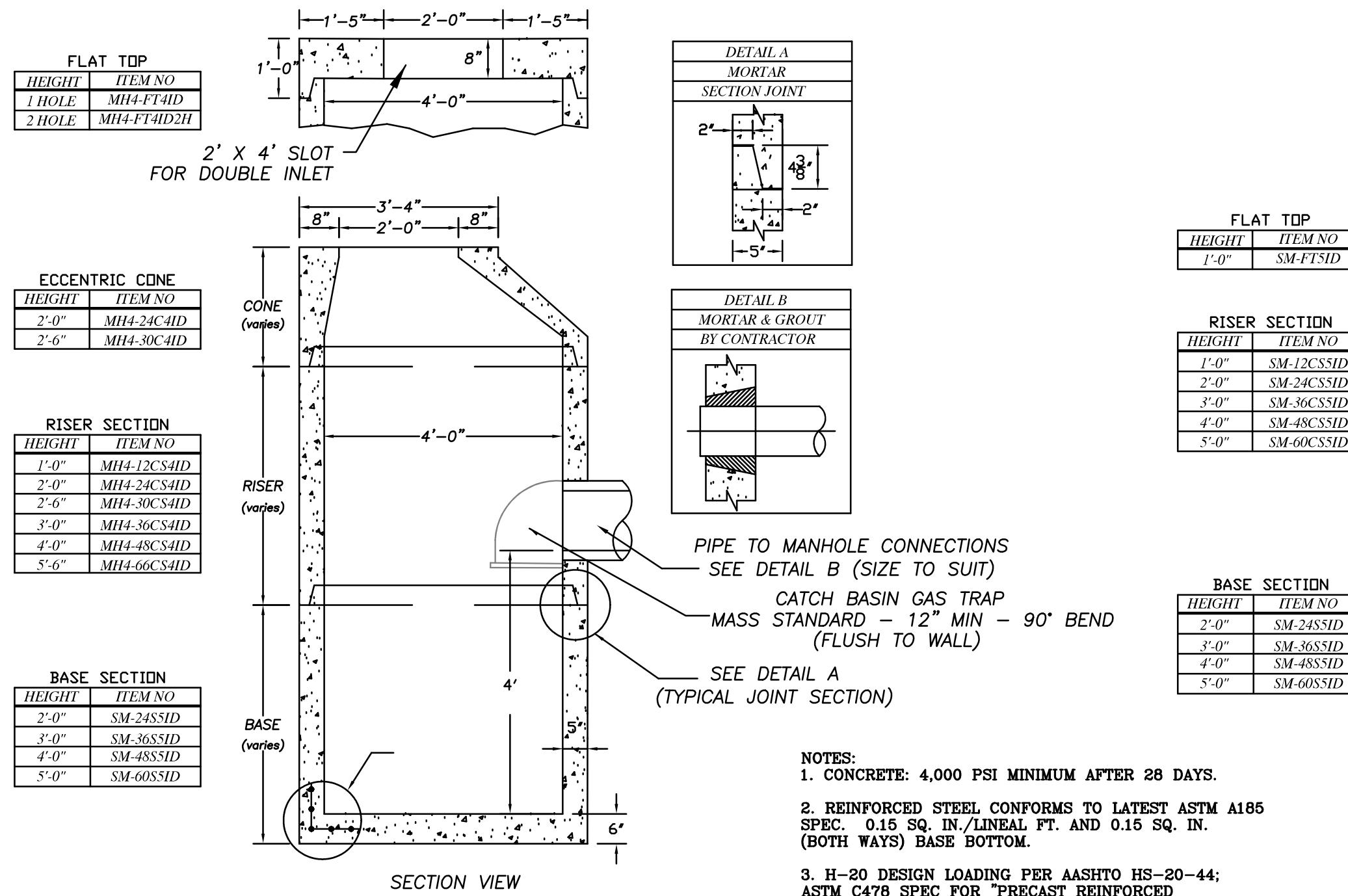
133 PHINEAS STREET
DRACUT, MASSACHUSETTS

prepared for 133 Phineas Street LLC
2100 Lakeview Avenue, Unit B, Dracut, MA. 01826

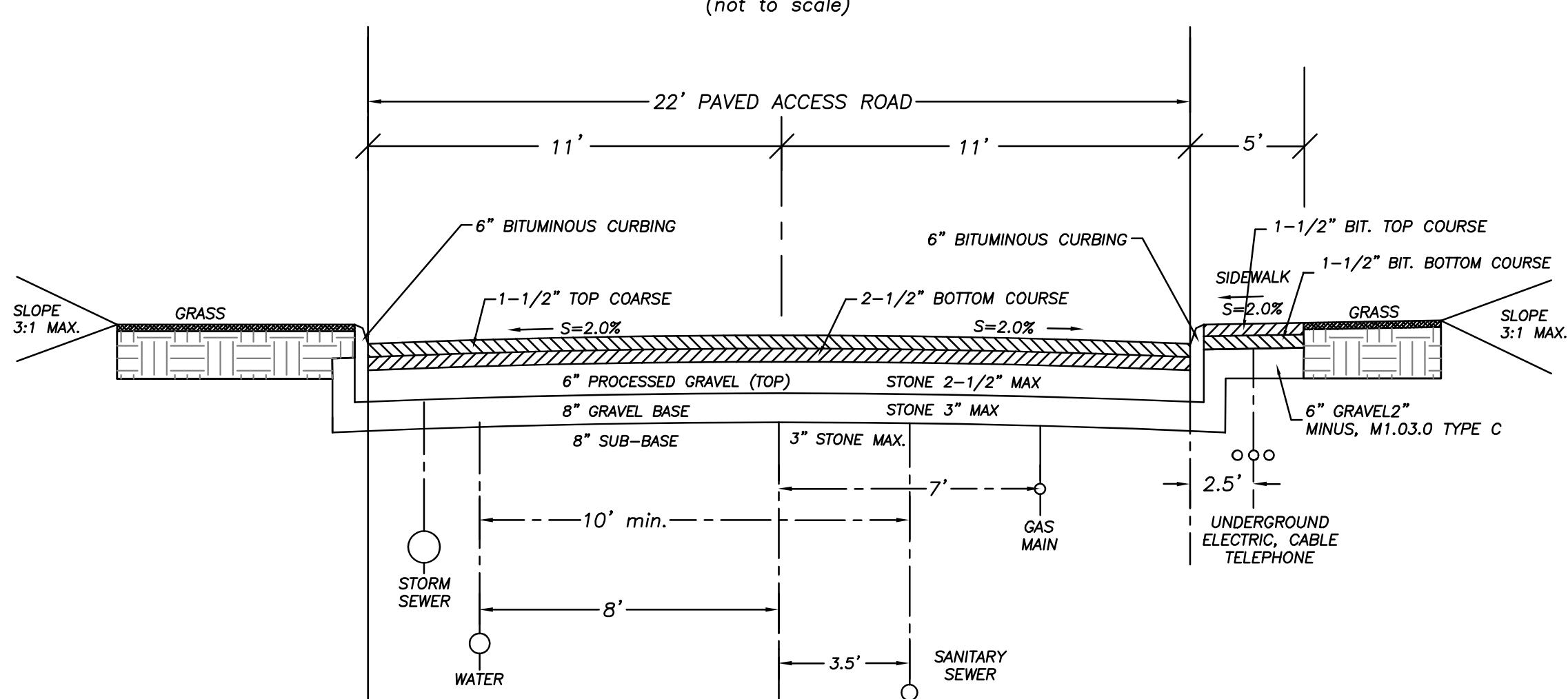
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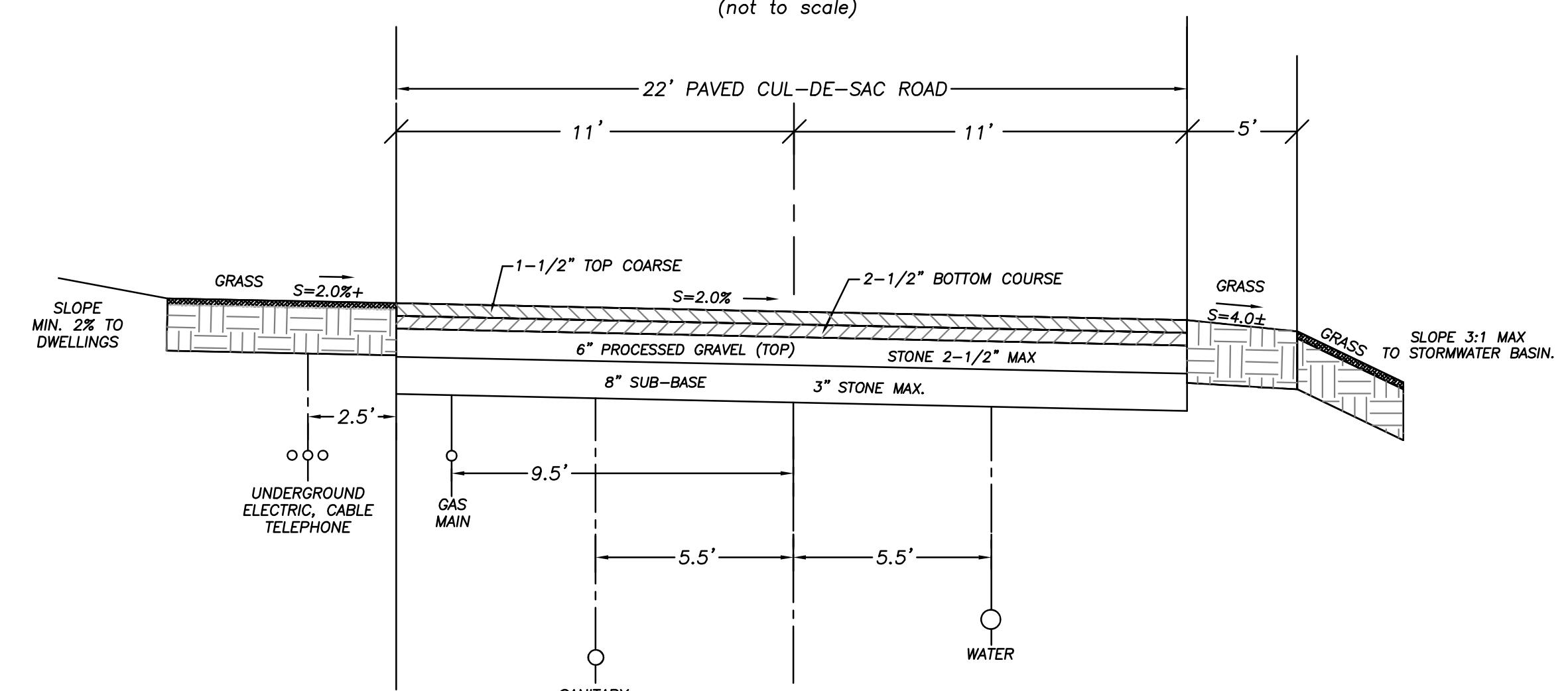
Graphic Scale 1" = 40'



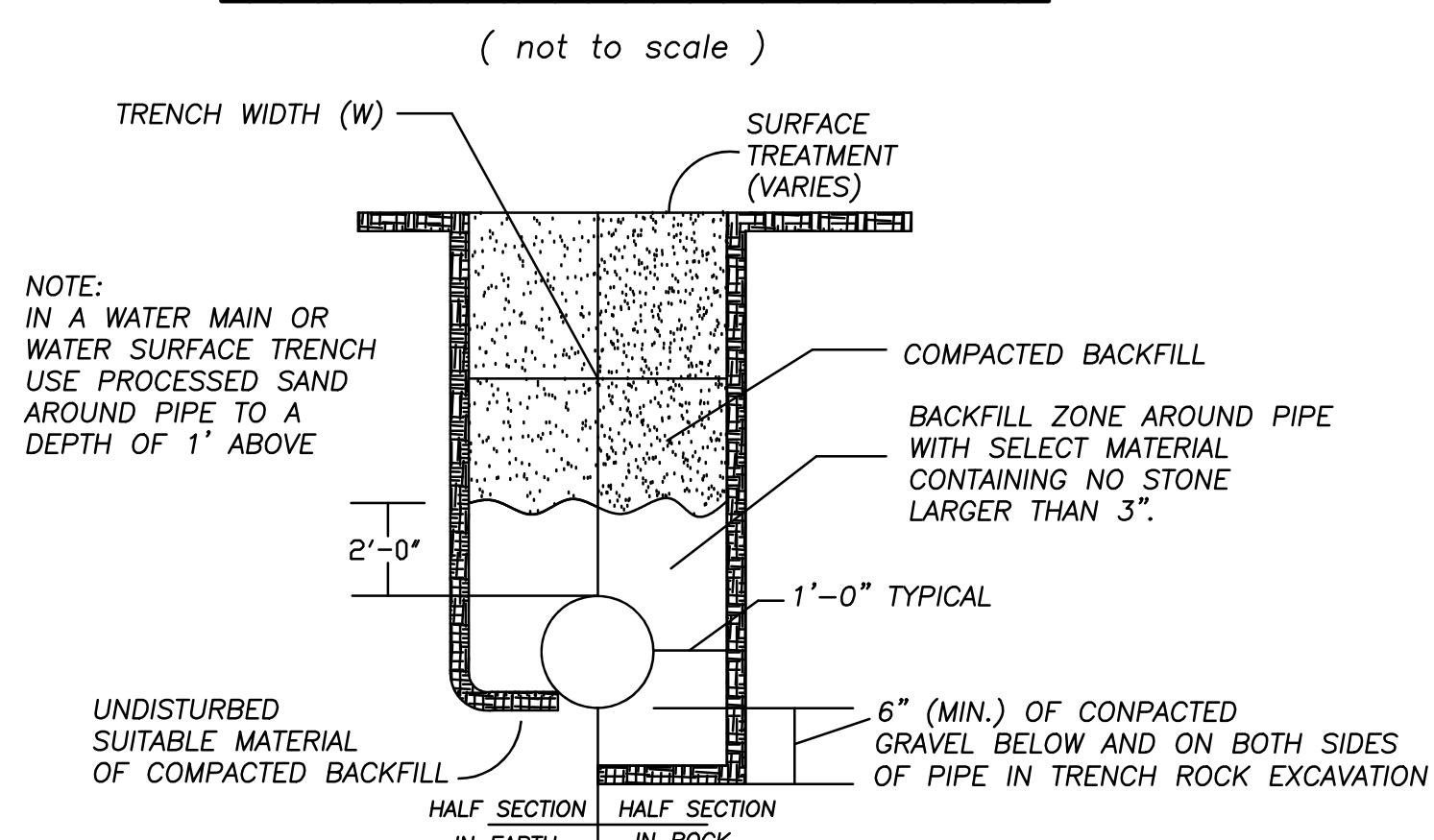
TYPICAL ROADWAY SECTION



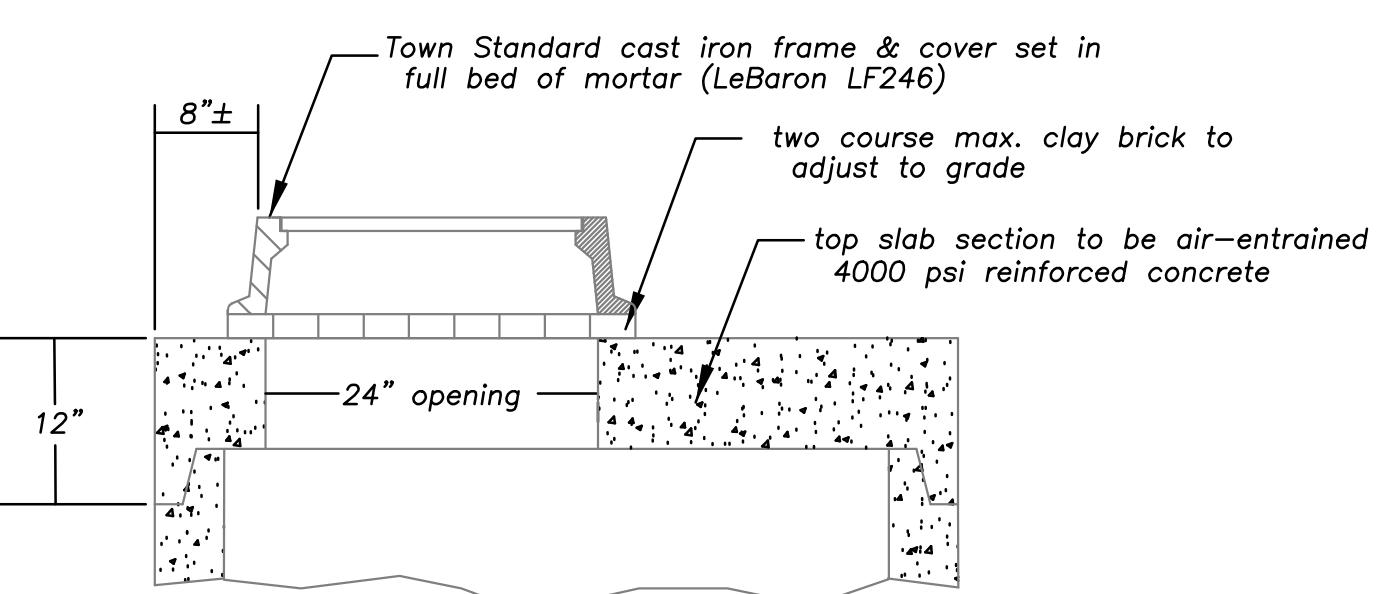
TYPICAL CUL-DE-SAC SECTION



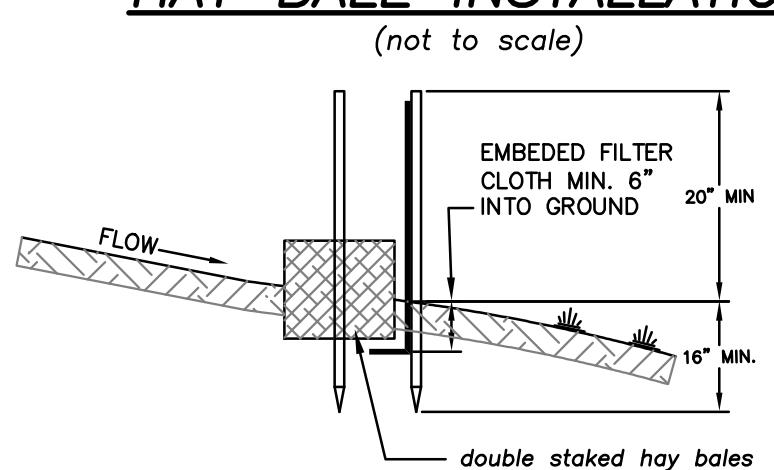
TYPICAL PIPE TRENCH DETAIL



TYPICAL BASIN FRAME & COVER DETAIL



TYPICAL SILT FENCE & HAY BALE INSTALLATION

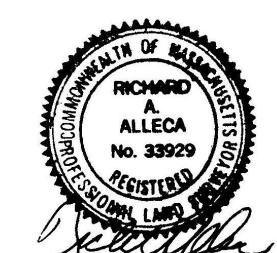


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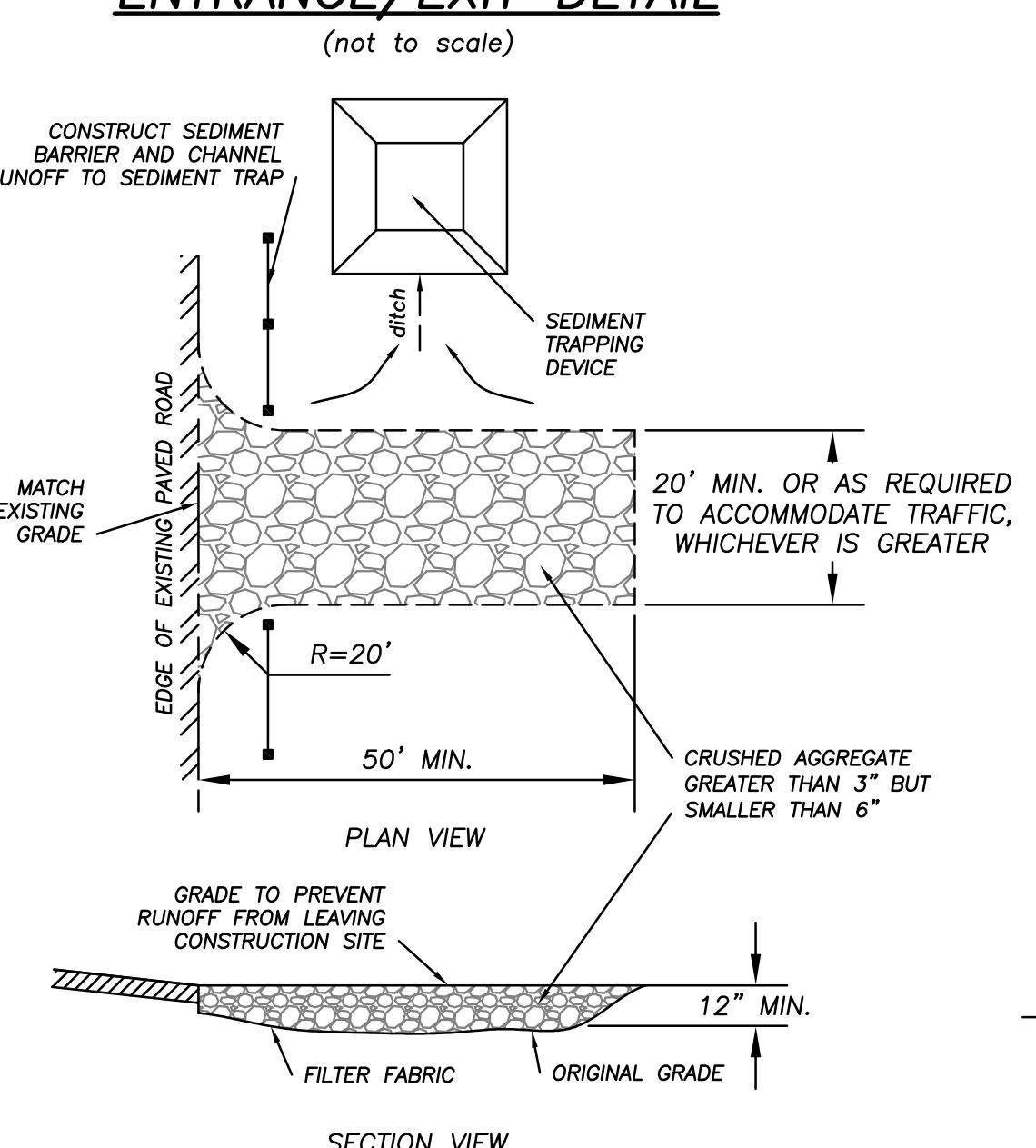
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Date

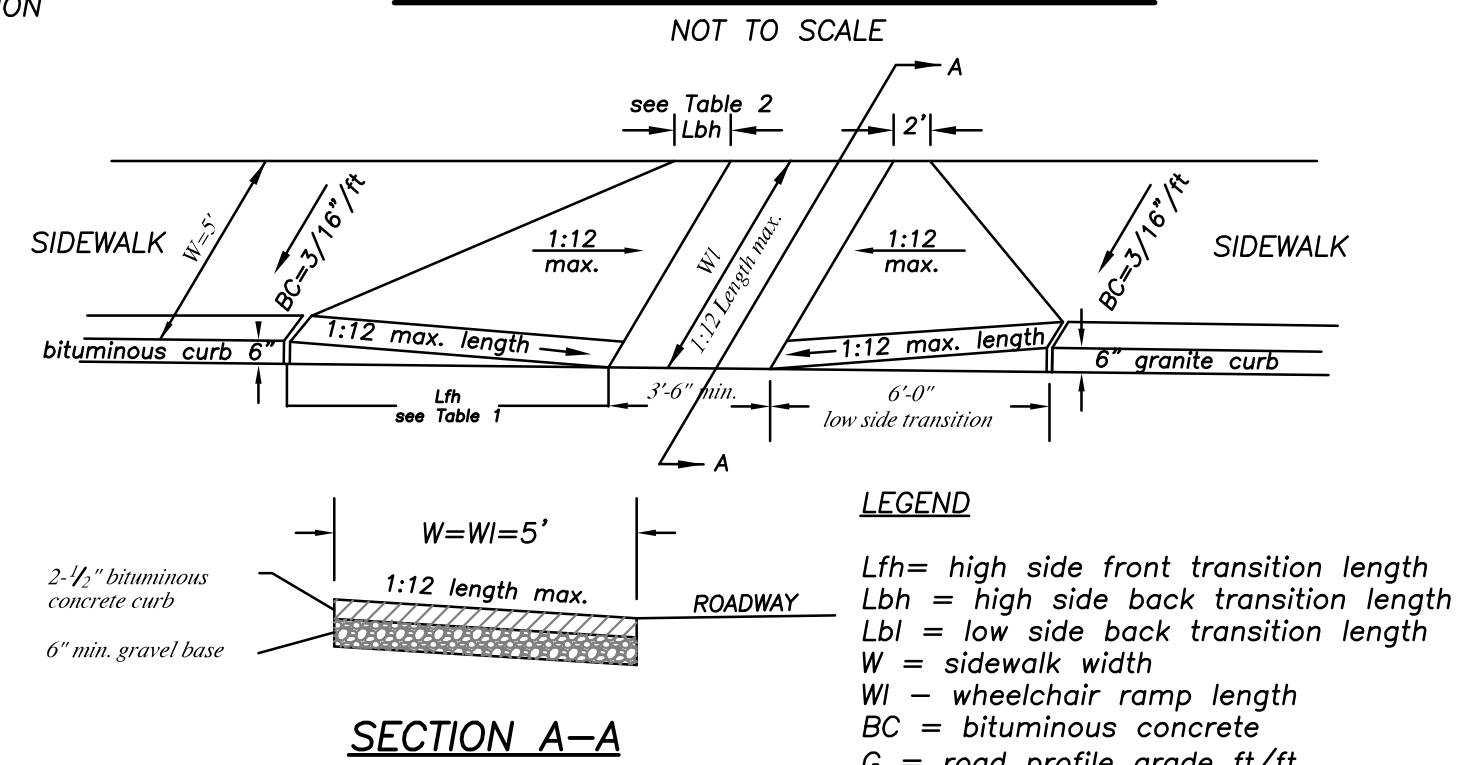


Registered Land Surveyor
R.L.S. #33929, E.I.T. #6520

STABILIZED CONSTRUCTION ENTRANCE/EXIT DETAIL



WHEELCHAIR RAMP DETAIL



DRAUT ZONING BOARD OF APPEALS

DATE: _____

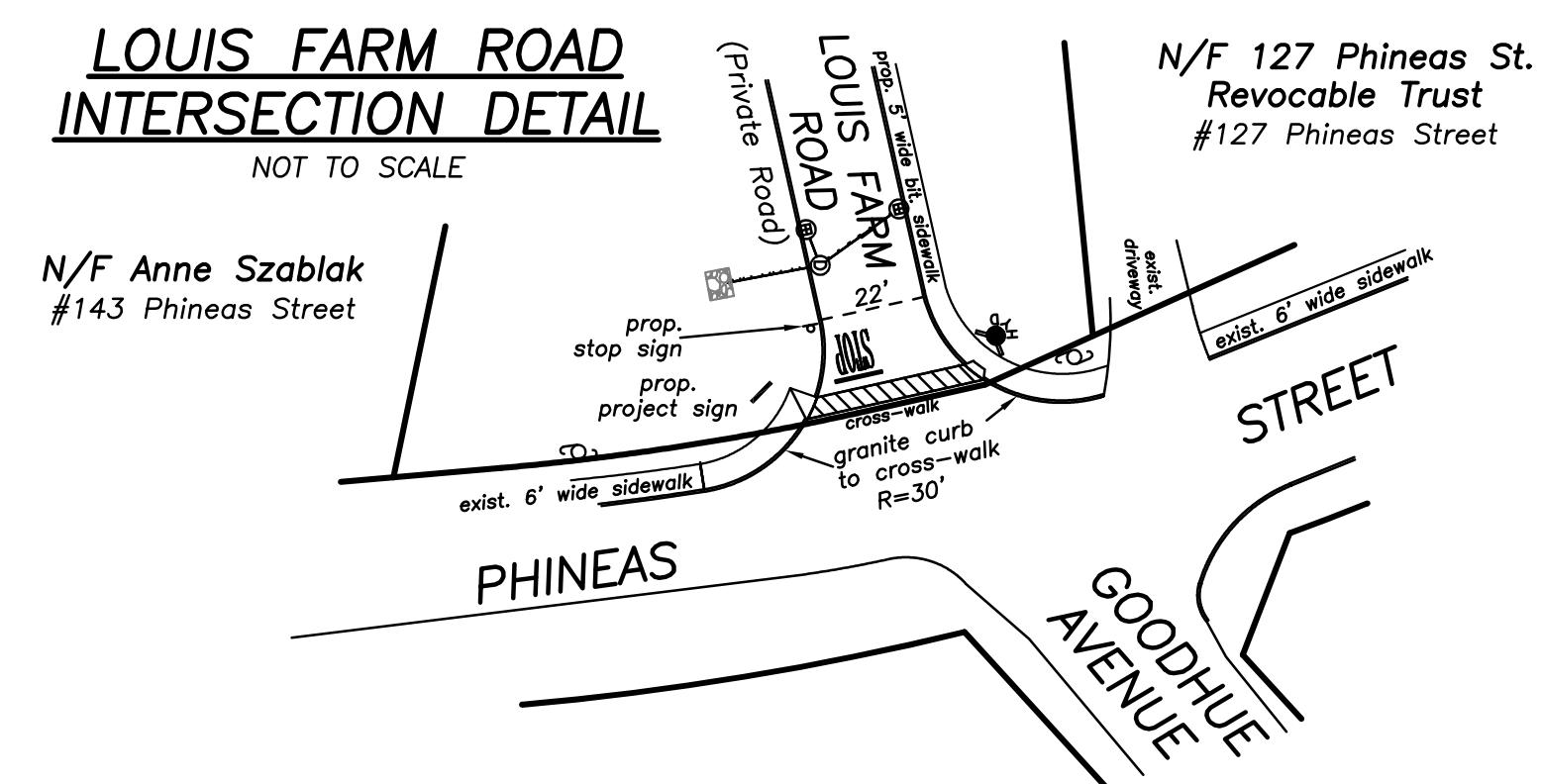
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MARK O'HARA
P.E. #45201

DATE: APRIL 11, 2022	SCALE: AS SHOWN
DATE:	REVISIONS
06-03-22	Louis Farm Road & Phineas Street Detail
DATE:	REVISIONS
DATE:	REVISIONS



"LOUIS FARM VILLAGE" ADULT COMMUNITY

DRAINAGE AND ROAD SECTION DETAILS

133 PHINEAS STREET
DRAUT, MASSACHUSETTS

prepared for 133 Phineas Street LLC
2100 Lakeview Avenue, Unit B, Dracut, MA.

prepared by Village Surveying
81 Village Drive, Dracut, MA. 01826

